



VERDE DESIGN

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www.verdedesigninc.com

ADDENDUM

ADDENDUM NO.: 1
DATE: MAY 13, 2022
BID DATE: JUNE 2, 2022
BID TIME: 2:00 PM
PROJECT NAME: BASEBALL INFIELD & SOFTBALL OUTFIELD IMPROVEMENTS AT LIBERTY,
FREEDOM & HERITAGE HIGH SCHOOLS
VERDE'S PROJECT NO.: 211110
OWNER'S PROJECT NO.:
CONSTRUCTION MANAGER: PAUL MELLONI
FILE NAME AND PATH: F:\libraries\~ Of\Y:\projects-sc\2021\2111100 - Liberty HS BB Imp\Bidding\Addendum 1\Addendum
1.docx"rice Documents\Bid and Construction Forms_Santa Clara Office\Addendum .docx

NOTICE TO ALL CONTRACTORS SUBMITTING BIDS FOR THIS WORK AND TO ALL PLAN HOLDERS:

You are hereby notified of the following changes, clarifications or modifications to the original Contract Documents, Project Manual, Drawings, Specifications and subsequent Addenda. This Addendum shall supersede the original Contract Documents, and previous Addenda wherein it contradicts the same and shall take precedence over anything to the contrary therein. All other conditions remain unchanged.

CONFORMANCE WITH CONTRACT DOCUMENTS, PROJECT MANUAL DRAWINGS AND SPECIFICATIONS

All addenda work shall be in strict conformance with the Contract Documents, Project Manual, Drawings and Specifications as they pertain to work of a similar nature.

ITEM NO. 1:

The Liberty Union High School District has stated the new bid time is 2:00 PM on June 2nd, 2022.

ITEM NO. 2:

Pre-bid meeting attendance list has been included in this addendum, see attached documents.

ITEM NO. 3:

The Synthetic Turf pad used at the schools is to be Brock Powerbase Pro, see attached product specifications.

ITEM NO. 4:

Updates were made to the Construction Drawings Plans, see revised plans.

LIBERTY HIGH SCHOOL – UPDATED DRAWINGS SHEETS:

L-L0.0 – Cover Sheet

- Updated sheet index
- Added Bid Alternate C

L-L2.1 – Erosion and Sediment Control Plan - Baseball Field

- Updated to remove filter rolls from removed junction boxes.

Contractors

L-L2.2 - Erosion and Sediment Control Plan - Softball Field

- Updated to remove filter rolls from removed junction boxes.

L-L3.1 - Demolition Plan - Baseball Field

- Item E added at 'Items to be Protected or relocated'.

L-L3.2 - Demolition Plan - Baseball Field

- Item E added at 'Items to be Protected or relocated'.

L-L4.1 - Grading Plan - Baseball Field

- Changes to grading design.

L-L4.2 - Grading Plan - Softball Field

- Changes to grading design.

L-L5.1 - Drainage and Utility Plan - Baseball Field

- Changes to drainage design
- Bid Alternate C added to drainage legend.

L-L5.2 - Drainage and Utility Plan - Softball Field

- Changes to drainage design.
- Bid Alternate C added to drainage legend.

L-L6.1 – Layout Plan - Baseball Field

- Updated to remove coordinates from removed junction boxes.

L-L6.2 – Layout Plan - Softball Field

- Updated to remove coordinates from removed junction boxes.

L-L7.1 - Material and Detail Reference Plan - Baseball Field

- Synthetic turf height changed from 1.75" to 2".
- Synthetic turf edgeband at existing fence added.

L-L7.2 - Material and Detail Reference Plan - Softball Field

- Changes to design of materials plan,
- Synthetic turf height changed from 1.75" to 2".
- Synthetic turf edgeband at existing fence added.

L-L9.1 - Bid Alternate Plan - Softball Field

- Changes to bid alt design. Grading, demolition, and materials plan added.

FREEDOM HIGH SCHOOL – UPDATED DRAWINGS SHEETS:

F-L0.0 – Cover Sheet

- Updated sheet index
- Added Bid Alternate C.

F-L2.1 - Erosion and Sediment Control Plan - Baseball Field

- Updated to remove filter rolls from removed junction boxes.

F-L2.2 - Erosion and Sediment Control Plan - Softball Field

- Updated to remove filter rolls from removed junction boxes.

F-L3.1 - Demolition Plan - Baseball Field

- Item 1 updated at 'Items to be Demolished and/or Removed'

Contractors

F-L3.2 - Demolition Plan - Baseball Field

- Item 1 updated at 'Items to be Demolished and/or Removed'

F-L4.1 - Grading Plan - Baseball Field

- Changes to grading design.

F-L4.2 - Grading Plan - Softball Field

- Changes to grading design.

F-L5.1 - Drainage and Utility Plan - Baseball Field

- Changes to drainage design.
- Bid Alternate C added to drainage legend.

F-L5.2 - Drainage and Utility Plan - Softball Field

- Changes to drainage design.
- Bid Alternate C added to drainage legend.

L-L6.1 – Layout Plan - Baseball Field

- Updated to remove coordinates from removed junction boxes.

L-L6.2 – Layout Plan - Softball Field

- Updated to remove coordinates from removed junction boxes.

F-L7.1 - Material and Detail Reference Plan - Baseball Field

- Synthetic turf height changed from 1.75" to 2".

F-L7.2 - Material and Detail Reference Plan - Softball Field

- Synthetic turf height changed from 1.75" to 2".

D2.1 - Construction Details

- Details C/D2.1 and M/D2.1 updated.

HERITAGE HIGH SCHOOL – UPDATED DRAWINGS SHEETS:

H-L0.0 – Cover Sheet

- Updated sheet index
- Added Bid Alternate C

H-L2. - Erosion and Sediment Control Plan - Baseball Field

- Updated to remove filter rolls from removed junction boxes.

H-L2.2 - Erosion and Sediment Control Plan - Softball Field

- Updated to remove filter rolls from removed junction boxes.

H-L3.1 - Demolition Plan - Baseball Field

- Item E added at 'Items to be Protected or relocated'.

H-L3.2 - Demolition Plan - Baseball Field

- Item E added at 'Items to be Protected or relocated'.

H-L4.1 - Grading Plan - Baseball Field

- Changes to grading design.

H-L4.2 - Grading Plan - Softball Field

- Changes to grading design.

Contractors

H-L5.1 - Drainage and Utility Plan - Baseball Field

- Changes to drainage design
- Bid Alternate C added to drainage legend.

H-L5.2 - Drainage and Utility Plan - Softball Field

- Changes to drainage design.
- Bid Alternate C added to drainage legend.

H-L6.1 – Layout Plan - Baseball Field

- Updated to remove coordinates from removed junction boxes.

H-L6.2 – Layout Plan - Softball Field

- Updated to remove coordinates from removed junction boxes.

H-L7.1 - Material and Detail Reference Plan - Baseball Field

- Synthetic turf height changed from 1.75” to 2”.
- Synthetic turf edgeband at existing fence added.

H-L7.2 - Material and Detail Reference Plan - Softball Field

- Synthetic turf height changed from 1.75” to 2”.
- Synthetic turf edgeband at existing fence added.

D2.1 - Construction Details

- Details C/D2.1 and M/D2.1 updated.

By: Derek McKee
Verde Design

Addendum No. 1 is hereby acknowledged by the bidder’s signature.

Name of Bidder’s Company

Authorized Signature

Date

Title

END OF ADDENDUM

NOTICE TO CONTRACTORS

NOTICE IS HEREBY GIVEN that the Liberty Union High School District, acting by and through its Governing Board, will receive, prior to Thursday, June 2, 2022 at 2:00 p.m. sealed bids for the award of a contract for Baseball & Softball Field Improvements @ Liberty, Freedom & Heritage High Schools project.

Bid documents are available on the Liberty Union High School District website at www.luhsd.net.

All interested bidders must attend a mandatory Pre-Bid Conference at the Liberty Union High School District Maintenance and Transportation Facility Conference Room, 19 Oak Street, Brentwood, CA 94513 at 10:00 a.m. on Tuesday, May 10, 2022.

The engineer's approximate estimate for this project is \$5,000,000.00.

Scope of Work:

Project includes the demolition of existing infield fines, natural turf, and irrigation. Contractor shall complete: Earthwork and Grading Operations, the installation of new concrete work, draining system improvements, fencing, edgebands, athletic furnishings, synthetic turf, infield fines, irrigation, and landscaping.

Typical Properties & Specification

Product Number	PBPRO
Material Type	Expanded Polypropylene
Part Format	Interlocking panel
Part Size, nominal net coverage	24.15 sq ft per panel (2.24 sq m)
Part Thickness, nominal	1.00 in (25 mm)
Part Length, nominal	73.5 in (1867 mm)
Part Width, nominal	49.0 in (1245 mm)
Part Weight, nominal	5.87 lbs per panel

Property	Typical Value	Specification	
Tensile Strength ¹	111 psi	> 80 psi	ASTM D3574-08 Test E
Tensile Elongation ¹	26%	> 20%	ASTM D3574-08 Test E
Compression Strength ² @ 25% strain @ 50% strain	41 psi 56 psi	> 35 psi > 50 psi	ASTM 3575-08 Test D
Compression Set ³ 35psi for 30 minutes – Set after 24 hrs	5%	< 7.5%	Brock Test Method
Coefficient of Linear Thermal Expansion ⁴ per 1° C change	0.065 mm/m	< 0.10 mm/m	ASTM D696
Thermal Conductivity (Lambda Value) ⁵	~ 0.0377 W/mK	Information Only	EN 12667:2001 / ISO 7345
Thermal Resistance (R Value) ⁵	~ 0.64 Km ² /W	Information Only	EN 12667:2001 / ISO 7345
Water Absorption ⁶ After 24 hrs immersion	~ 1%	≤ 1%	DIN 534 28
Water Permeability ⁷	720 in / hr	> 500 in / hr	ASTM 1551 Suffix-DIN 18-035, Part 6
* Lateral Transmissivity ⁸ Flow Rate @ .005 Gradient Flow Rate @ .0075 Gradient Flow Rate @ .01 Gradient	0.57 gpm/ft 0.74 gpm/ft 0.90 gpm/ft	0.50 gpm/ft - -	ASTM D4716-14
Head Injury Criterion 1,000 – Critical Fall Height ⁹	1.21 m	1.2 m	ASTM F3146-18, Procedure A
Gmax ⁹	89 g	< 95 g	ASTM F355-16 Missile A
Shock Absorption ⁹	63% / 64%	> 60%	ASTM F3189-17 / EN14808:2005
Vertical Deformation ⁹	6.2 mm	< 7 mm	ASTM F3189-17 (Advanced Artificial Athlete)
Vertical Deformation ⁹	2.8 mm	< 3.5 mm	EN14809:2005 (Artificial Athlete)
Resistance to Chemicals ¹⁰	1 / 2	≤ 2	ASTM F925
Resistance to Acid and Alkaline Liquids ¹¹ % tensile strength loss - 100yr model	0% after 12 days	0% after 12 days	EN 14030:2010 ISO 12960:1998
Resistance to Oxidation (Accelerated Aging) ¹² % tensile strength loss - 100yr model	6% after 56 days @ 110°C	6% after 56 days @ 110°C	EN ISO 13438:2004
Microbiological Analysis ¹³ bacteria resistance ¹³ fungi resistance ¹⁴	No growth No growth	No growth No growth	ASTM G22 ASTM G21
Environmental Standards Testing Cradle to Cradle ¹⁵ Heavy Metals ^{16 - 17} VOC's ^{16 - 17} SVOC's ^{16 - 17} California Title 22 ¹⁷ California Proposition 65 ¹⁸	Certified Compliant to EPA human health standards, surface water quality, groundwater quality Compliant Certified	Certified Compliant to EPA human health standards, surface water quality, groundwater quality Compliant Certified	Cradle to Cradle Products Innovation institute EPA 6010B, 7470A, 7471A EPA 8260B EPA 8270C California Code of Regulations, Title 22, Division 4.5, Chapter 11 California Proposition 6/614

DATA ARE TYPICAL PROPERTIES ONLY. THIS DOCUMENT DOES NOT CREATE ANY WARRANTY, EXPRESS OR IMPLIED

The Brock PowerBase product group includes PowerBase PRO, PowerBase YSR, Performance Base F24, Performance Base F20

* Note that ASTM D4716 flow rate and hydraulic transmissivity values are not an indication of overall athletic field drainage performance.

¹⁻¹⁸ Test reports available upon request



**Brock PowerBase PRO
Limited Product and Performance
Warranty**

1. Limited Warranties. Subject to the terms and conditions of this Limited Warranty, Brock International LLC ("Brock") warrants to the owner of the playing field(s) ("Owner") at which Brock PowerBasePRO panels ("Panels") have been installed that, for a period of twenty five (25) years from date of purchase (the "Warranty Period"), the Panels shall: (1) be comprised of an expanded polypropylene composite material; (2) be free from defects in materials and workmanship; (3) not materially degrade under normal use as an underlayment for artificial turf sports surfaces; and (4) be part of a turf system that will not exceed a field average GMax of 120 G's (the "GMax Warranty") as tested according to the ASTM 1936 Protocol using the F-335-A Missile with test conditions above 40° F with field free of any frost or contaminants, provided the original turf initially installed over the Panels has never been replaced; (4) Maintain a vertical drainage rate (rainfall capacity) of at least 350 in/hr when the pad alone is tested in accordance with ASTM F1551/DIN 18-035, Part 6. (collectively, the "Limited Warranties").

2. Warranty Claim Process. In the event the Panels fail to comply with these Limited Warranties during the Warranty Period, Owner shall: (1) provide Brock written notice within thirty (30) days after it first discovery of the non-compliance; and (2) afford Brock an opportunity to inspect the Panels (in place as originally installed) prior to modifying or altering the Panels in any manner.

3. Exclusions. Notwithstanding any provision herein to the contrary, Brock does not warrant and shall not be responsible for, the Limited Warranties shall not cover, and Owner shall not be entitled to recover, (for breach of contract, tort, strict liability, or otherwise), any loss, liability, claim, damage, cost, expense, or defect (collectively, a "Claim") caused by, in whole or in part, or arising from any of the following: (1) any party's failure to install, use, and maintain the Panels strictly in accordance with Brock's Installation Standards and Manufacturer's Standards, (2) improper handling, use or protection of Panels, including, but not limited to, imposition of excessive static loads (in excess of 50 PSI for a period greater than 30 minutes) or dynamic loads (impact in excess of 106 PSI) or breaking or improper cutting of Panels; (3) improper or inadequate site preparation, including, without limitation, improper base material, grading, compaction, or material usage in perimeter drain collectors and other drain collectors;(4) improper or inadequate site drainage, including without limitation, lack of adequate drainage systems, gutters, channels, and water diversion mechanisms; (5) any permanent depression of the surface of the Panels which is less than 6 mm in depth; (6) any cause or event that is not reasonably foreseeable by Brock, including acts of God, extreme weather events, fires, floods, lightning, earthquakes, landslides, explosions, riots, wars, hurricane, sabotage, terrorism, vandalism, accident, restraint of government, governmental acts, and injunctions; (7) any condition related to the soil, base, earth, or subsurface upon which the Panels are installed, including without limitation, soil expansion, shifting, contraction, subsidence, compression, or erosion; (8) improper or inadequate selection, use, installation, maintenance, repair, or replacement of the field's artificial turf system, including any infill; (9) cumulative exposure of the Panels to sunlight or other source of Ultraviolet light for more than ten (10) calendar days; (10) contamination of the infill with sand, dirt, or other substances; (11) failure to install and maintain the Panels with a minimum depth of 17mm (5/8") of infill in the turf system; and (12) as to the GMax Warranty, any Claim occurring after the original turf that was initially installed over the Panels has been replaced (collectively, the "Exclusions").

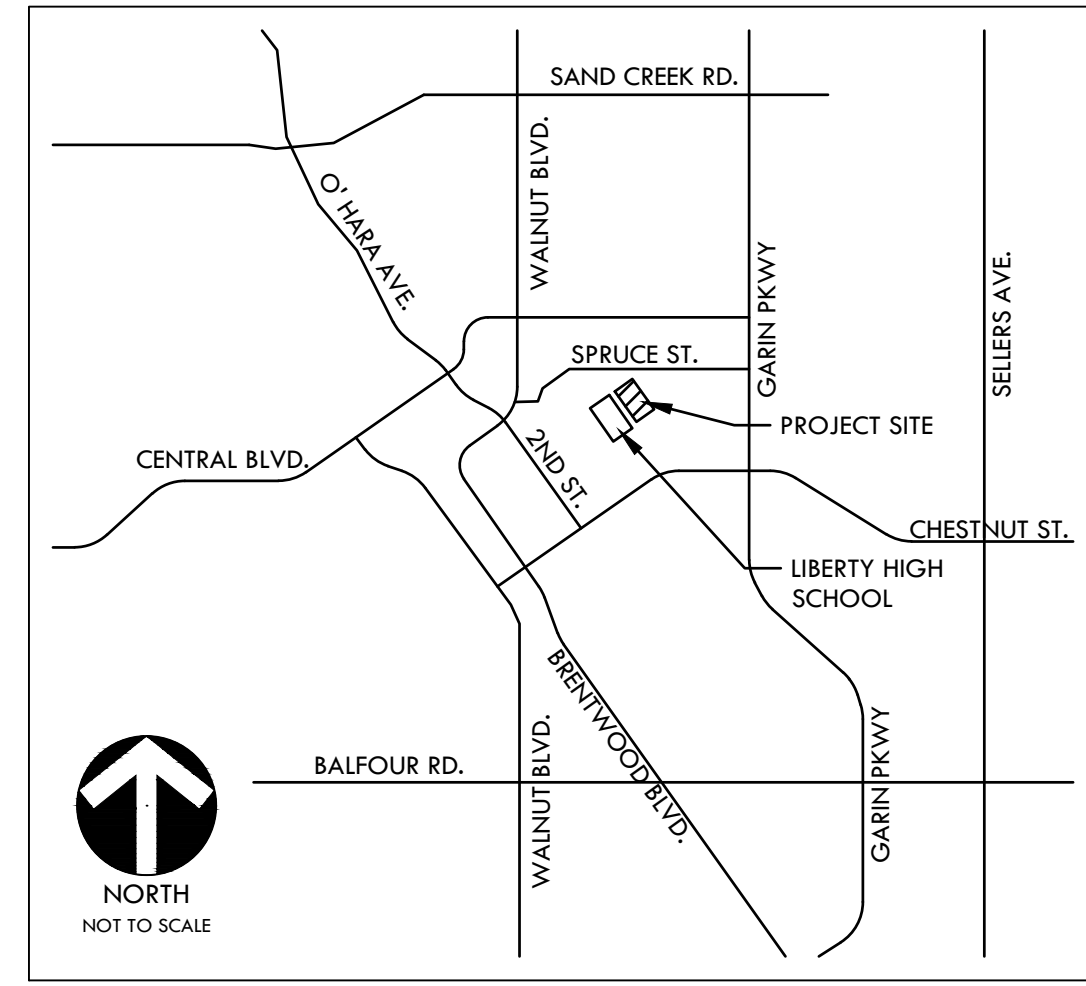
4. Remedy. As Owner's sole and exclusive remedy for any Claim relating to or arising from the Limited Warranties or Panels, and provided the Claim was not caused by or arising from any Exclusion, Brock shall deliver to the Owner and install new Panels to replace the non-conforming Panels. The installation shall include the temporary removal and repair or replacement of the artificial turf and infill over the affected area. Brock shall have discretion as to whether to repair or make replacement of the artificial turf and infill. If Owner decides to replace the entire surface for reasons other than a breach of Brock Warranty, Owner shall give Brock reasonable advance notice of replacement of the surface so that a Brock representative can be present as the time of the turf replacement to inspect Brock panels.

5. Limitation of Liability. OWNER'S SOLE AND EXCLUSIVE REMEDY FOR ANY AND ALL CLAIMS ARISING OUT OF OR RELATING TO THE PURCHASE, USE, OR CONDITION OF ANY PANELS OR THIS LIMITED WARRANTY UNDER ANY LEGAL THEORY, INCLUDING WITHOUT LIMITATION, BREACH OF WARRANTY, BREACH OF CONTRACT, NEGLIGENCE (INCLUDING NEGLIGENT MISREPRESENTATION), OR STRICT LIABILITY, SHALL BE LIMITED TO THE REMEDIES PROVIDED IN SECTION 4 (REMEDY) OF THIS LIMITED WARRANTY. IN NO EVENT SHALL BROCK BE LIABLE FOR, AND OWNER HEREBY WAIVES ANY RIGHT TO RECOVER, ANY PUNITIVE, SPECIAL, CONSEQUENTIAL, OR INDIRECT LOSSES OR DAMAGES, ALL OF WHICH OWNER EXPRESSLY DISCLAIMS. BROCK'S TOTAL AGGREGATE LIABILITY TO OWNER FOR ANY AND ALL CLAIMS UNDER ANY LEGAL THEORY ARISING FROM OR RELATING TO THE PANELS, ANY ACTION OR INACTION OF BROCK, OR THIS LIMITED WARRANTY, SHALL NOT EXCEED THE TOTAL CONSIDERATION OWNER PAID FOR THE NON-CONFORMING PANELS. The foregoing Limitation of Liability shall not apply to any Claim caused by the grossly negligent or intentional acts or omissions of Brock. Owner and Brock (the "Parties") agree that: (1) this Limitation of Liability was the product of commercial negotiation, formed part of the basis of the sale contract for the Panels, factored into the pricing of the panels, and that Owner had an opportunity to review the same with its legal counsel; (2) in the event the Sole and Exclusive Remedy Fails of its essential purpose, they intend for the above disclaimer of punitive, special, consequential, and indirect losses or damages (the "Disclaimer") to survive and remain binding upon the Parties; and (3) the Disclaimer is independent of any other limitation of liability in this Limited Warranty and reflects a separate allocation of risk.

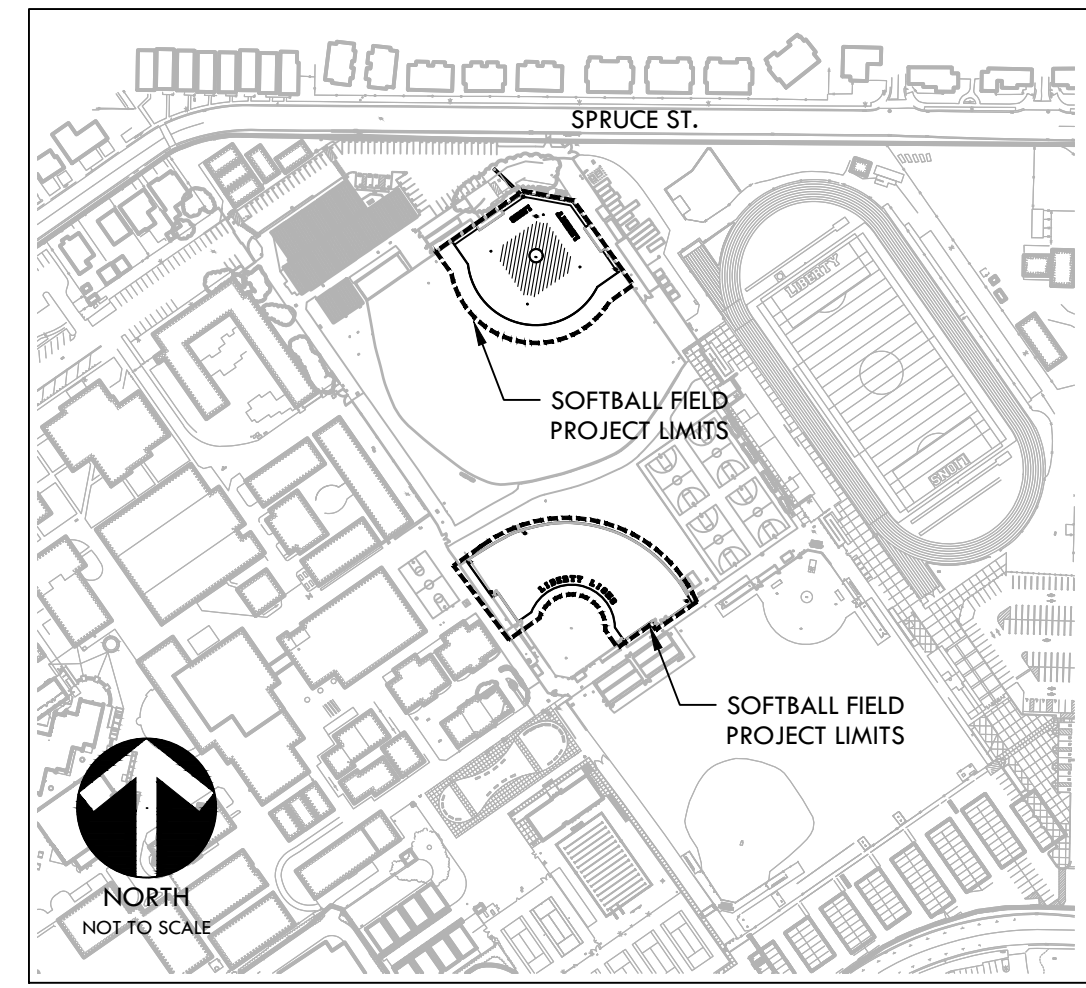
6. Disclaimer of Warranties. THIS LIMITED WARRANTY AND ITS REMEDIES ARE EXCLUSIVE AND IN LIEU OF ALL OTHER WARRANTIES, REMEDIES AND CONDITIONS, WHETHER ORAL, WRITTEN, STATUTORY, EXPRESS OR IMPLIED. BROCK DISCLAIMS ALL STATUTORY AND IMPLIED WARRANTIES, INCLUDING WITHOUT LIMITATION, WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE AND WARRANTIES AGAINST HIDDEN OR LATENT DEFECTS.

7. General Terms. This Limited Warranty: (1) shall be governed, interpreted, and enforced solely under laws of the State of Colorado, irrespective of conflict of laws principles; (2) shall not be waived, altered, or modified except in a writing signed by the Parties; (3) supersedes and replaces entirely any previous representations, warranties, or promises made in relation to the Panels; and (4) may only be assigned by Brock in its sole discretion. Failure to enforce any provision of this Limited Warranty shall not constitute a waiver of any other provision.

PROJECT MAPS



VICINITY MAP



SITE MAP

CONSTRUCTION DRAWINGS FOR LIBERTY HIGH SCHOOL BASEBALL INFIELD & SOFTBALL OUTFIELD IMPROVEMENTS

850 2ND ST.

BRENTWOOD, CA 94513

LIBERTY UNION HIGH SCHOOL DISTRICT

VERDE DESIGN, INC. PROJECT NO. 2111100

PREPARED BY

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
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CONTACT INFORMATION

ORGANIZATION	NAME	PHONE
OWNER LIBERTY UNION HIGH SCHOOL DISTRICT	PAUL MELLONI	(925) 634-3812
LANDSCAPE ARCHITECT VERDE DESIGN INC.	DEREK MCKEE JERRY JIANG NIRMALA NAVARRO	(408) 850-3410 (408) 850-3409 (408) 850-3474

SCOPE OF WORK

BASE BID
SCOPE OF WORK SHALL INCLUDE THE DEMOLITION OF EXISTING INFIELD FINES, NATURAL TURF, AND IRRIGATION. CONTRACTOR SHALL COMPLETE: EARTHWORK AND GRADING OPERATIONS, THE INSTALLATION OF NEW CONCRETE WORK, DRAINAGE SYSTEM IMPROVEMENTS, FENCING, EDGE BANDS, ATHLETIC FURNISHINGS, SYNTHETIC TURF, INFIELD FINES, IRRIGATION, AND LANDSCAPING.

BID ALTERNATE
1. BID ALTERNATE A - SYNTHETIC TURF MAINTENANCE CONTRACT, REFER TO SPECIFICATIONS.
2. BID ALTERNATE B - TALL CURB AT SOFTBALL LEFT FIELD, REFER TO SPECIFICATIONS AND SHEET L-19.1
3. BID ALTERNATE C - FLAT PANEL DRAINS, REFER TO DRAINAGE PLANS L-1.1 & L-1.2.

GENERAL NOTES

- PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPLAIN OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONDITIONS, REQUIRING WORK, WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS.
- NO CONSTRUCTION SHALL COMMENCE WITHOUT THE OFFICIAL NOTICE TO PROCEED FROM THE OWNER.
- THE GENERAL CONTRACTOR & SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING DRAWINGS AND THE OWNER, BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL OF THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH OF UTILITIES, AND REPORT POTENTIAL CONFLICTS TO THE OWNER PRIOR TO EXCAVATING FOR NEW FACILITIES.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES CAUSED BY ITS OPERATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS WITHIN SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THEIR ORIGINAL CONDITION OR BETTER AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- DIMENSIONS AND LOCATIONS OF EXISTING FACILITIES ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, AS WELL AS ADAPTED STANDARDS.
- ALL NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO, THE WRITTEN SPECIFICATIONS AND DETAILS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- THIS DRAWING SET SHALL BE USED IN CONJUNCTION WITH THE CSI FORMAT SPECIFICATIONS PUBLISHED IN BOOK FORM. COMBINED, THEY ARE HEREBY REFERRED TO AS THE "CONTRACT DOCUMENTS".
- DIMENSIONS ON WORKING DRAWINGS TAKE PRECEDENCE OVER MEASURED ELEMENTS. CONTRACTOR SHALL NOT SCALE DRAWINGS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- ANY ALTERATIONS OF EXISTING FACILITIES TO ACCOMMODATE THE INSTALLATION OF NEW WORK SHALL BE REVIEWED BY THE OWNER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK TO AVOID DISTURBING STUDENTS OR TEACHERS DURING SCHOOL HOURS. ANY DISRUPTION OF THE UTILITIES MUST BE COORDINATED AND APPROVED BY THE OWNER AND INSPECTOR OF RECORD PRIOR TO COMMENCING WORK.
- ALL TEMPORARY WORK SHALL BE CONSIDERED A PART OF THIS CONTRACT AND NO EXTRA CHARGES WILL BE ALLOWED. THIS SHALL INCLUDE MINOR ITEMS OF MATERIAL OR EQUIPMENT NECESSARY TO MEET THE REQUIREMENTS AND INTENT OF THE PROJECT.
- THE PLANS AND SPECIFICATIONS DO NOT UNDERTAKE TO SHOW OR LIST EVERY ITEM TO BE PROVIDED, BUT RATHER TO DEFINE THE REQUIREMENTS FOR A FULL AND WORKING SYSTEM FROM THE STANDPOINT OF THE END USER. FOR THIS REASON, WHEN AN ITEM NOT SHOWN OR LISTED IS CLEARLY NECESSARY FOR PROPER CONTROL/OPERATION OF EQUIPMENT WHICH IS SHOWN OR LISTED, THE CONTRACTOR SHALL PROVIDE AN ITEM WHICH WILL ALLOW THE SYSTEM TO FUNCTION PROPERLY AT NO INCREASE IN PRICE.
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS STEMMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
- THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK AND IS SUBJECT TO REJECTION AND REPLACEMENT. SEE SPECIFICATIONS FOR SUBMITTAL AND SUBSTITUTION REQUIREMENTS.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
- ALL EQUIPMENT SHALL BE FABRICATED FROM FIELD VERIFIED DIMENSIONS AND APPROVED SHOP DRAWINGS. COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
- CONTRACTOR SHALL PERFORM THEIR CONSTRUCTION AND OPERATIONS IN A MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED "BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE CALIFORNIA STORM WATER QUALITY ASSOCIATION, NONPOINT SOURCE POLLUTION CONTROL PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT THEIR PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCING PER CONTRACT DOCUMENTS TO SERVE LIMIT OF WORK AREAS. FENCING MAY BE ADJUSTED DURING CONSTRUCTION BASED ON CONSTRUCTION SEQUENCE OR THE OWNER'S DIRECTION.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED.

APPLICABLE CODES

1. 2019 CBC CHAPTER 35; PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS. WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT MAY STILL BE USED. APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE THE STANDARD IS REFERENCED, NOT THE ENTIRE STANDARD.

- 2019 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
- (2018 INTERNATIONAL BUILDING CODE VOLUMES 1-2)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
- (2017 NATIONAL ELECTRICAL CODE)
- 2019 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R.
- (2018 UNIFORM MECHANICAL CODE)
- 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
- (2018 UNIFORM PLUMBING CODE)
- 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
- 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
- (2018 INTERNATIONAL FIRE CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2019 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R.
- (2018 INTERNATIONAL EXISTING BUILDING CODE)
- 2019 CALIFORNIA "GREEN" BUILDING REQUIREMENTS OR CAL GREEN, PART 11, TITLE 24 C.C.R.
- 2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
- 2019 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.

LIST OF FEDERAL CODES AND STANDARDS (IF APPLICABLE)		
AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III		
FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)	28 CFR 35.151(c)	
OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 35)		
FOR TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)	28 CFR 36.406	
2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN		

NOTE: TITLE II APPLIES TO PROJECTS FUNDED AND/OR USED BY STATE AND LOCAL GOVERNMENT SERVICES. TITLE III COVERS PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. DEPENDING ON THE USE AND FUNDING, BOTH TITLE MAY APPLY TO THE PROJECT.

NFPA 13	AUTOMATIC SPRINKLER SYSTEMS	2019 EDITION
NFPA 14	STANDPIPE SYSTEMS	2019 EDITION
NFPA 17	DRY CHEMICAL EXTINGUISHING SYSTEMS	2017 EDITION
NFPA 17A	WET CHEMICAL EXTINGUISHING SYSTEMS	2017 EDITION
NFPA 20	STATIONARY FIRE PUMPS	2019 EDITION
NFPA 24	PRIVATE FIRE SERVICE MAINS	2019 EDITION
NFPA 72	NATIONAL FIRE ALARM AND SIGNALING CODE (CALIFORNIA AMENDED)	2019 EDITION
	(NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES")	
NFPA 253	CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS	2019 EDITION
NFPA 2001	ALCENT AGENT FIRE EXTINGUISHING SYSTEMS	2018 EDITION
ASME 17.1	ELEVATOR STANDARD	2016 EDITION

REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2019 CALIFORNIA BUILDING CODE (FOR SFM) REFERENCED STANDARDS CHAPTER 35

ADA STANDARD FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)

2. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.

3. ALL EXISTING FIRE EXTINGUISHING SYSTEMS ARE IN COMPLIANCE WITH UL 300, CBC 904.11, CFC 904.11.

SHEET INDEX (28 Sheets)

SHEET NO.	SHEET DESCRIPTION
C0.0	COVER SHEET
L-10.1	OVERALL SITE PLAN
L-10.2	PROJECT SITE ACCESSIBILITY PLAN
L-10.3	EXISTING SITE CONDITIONS REVIEW
L-10.4	EXISTING SITE CONDITIONS REVIEW
L-11.1	EXISTING CONDITIONS AND SURVEY PLAN - BASEBALL FIELD
L-11.2	EXISTING CONDITIONS AND SURVEY PLAN - SOFTBALL FIELD
L-12.1	EROSION AND SEDIMENT CONTROL PLAN - BASEBALL FIELD
L-12.2	EROSION AND SEDIMENT CONTROL PLAN - SOFTBALL FIELD
L-13.1	DEMOLITION PLAN - BASEBALL FIELD
L-13.2	DEMOLITION PLAN - SOFTBALL FIELD
L-13.3	IRRIGATION DEMOLITION PLAN - BASEBALL FIELD
L-13.4	IRRIGATION DEMOLITION PLAN - SOFTBALL FIELD
L-14.1	GRADING PLAN - BASEBALL FIELD
L-14.2	GRADING PLAN - SOFTBALL FIELD
L-15.1	DRAINAGE AND UTILITY PLAN - BASEBALL FIELD
L-15.2	DRAINAGE AND UTILITY PLAN - SOFTBALL FIELD
L-16.1	LAYOUT PLAN - BASEBALL FIELD
L-16.2	LAYOUT PLAN - SOFTBALL FIELD
L-17.1	MATERIAL AND DETAIL REFERENCE PLAN - BASEBALL FIELD
L-17.2	MATERIAL AND DETAIL REFERENCE PLAN - SOFTBALL FIELD
L-18.1	IRRIGATION PLAN - BASEBALL FIELD
L-19.1	BID ALTERNATE PLAN - SOFTBALL FIELD
D1.1	DRAINAGE AND UTILITY DETAILS
D2.1	CONSTRUCTION DETAILS
D3.1	ATHLETIC DETAILS
D3.2	ATHLETIC DETAILS
D4.1	IRRIGATION DETAILS

C0.0

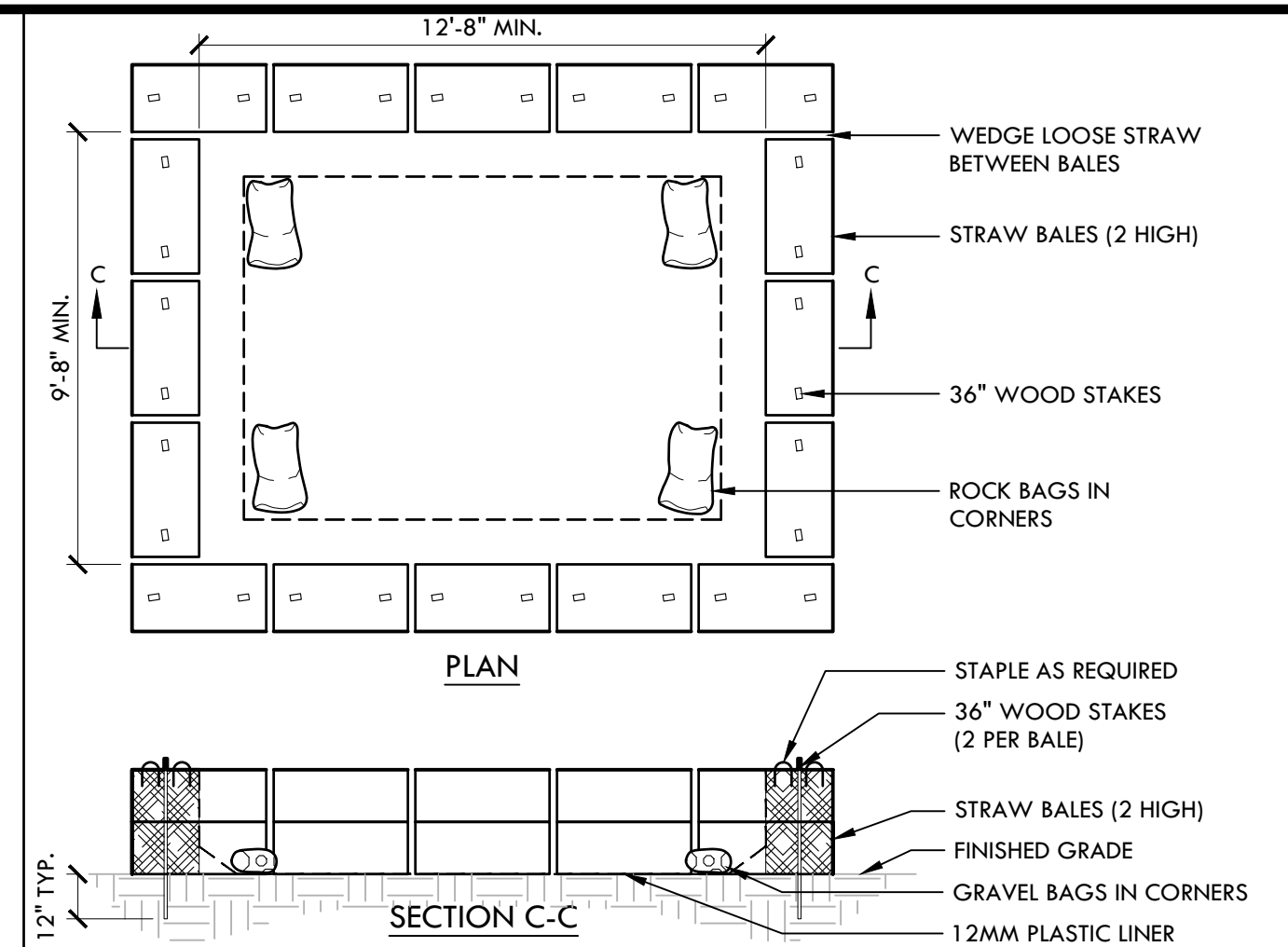
COVER SHEET

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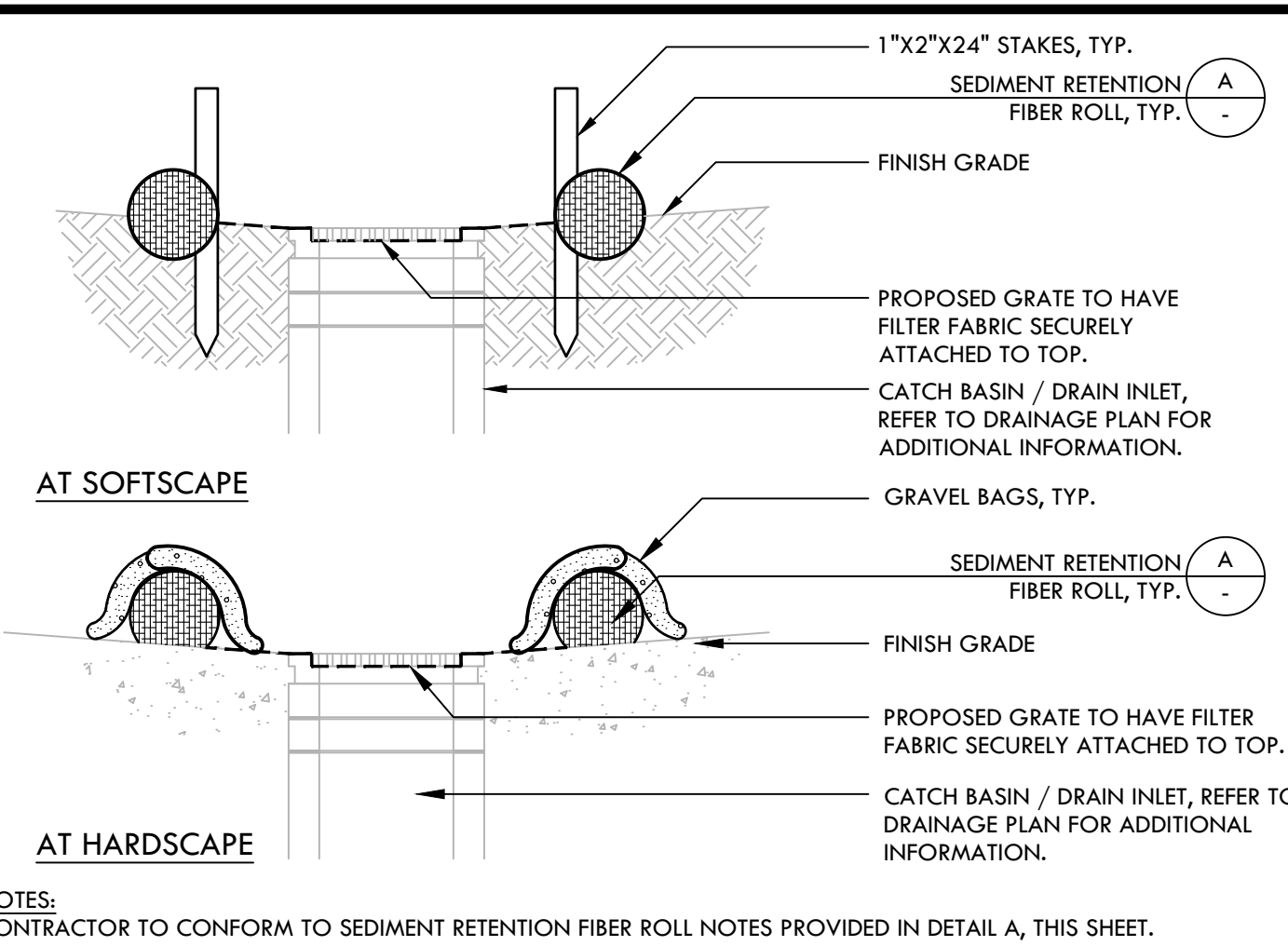
LIBERTY HIGH SCHOOL - BASEBALL INFIELD & SOFTBALL OUTFIELD IMPROVEMENTS

BID SUBMITTAL - 05/02/2022

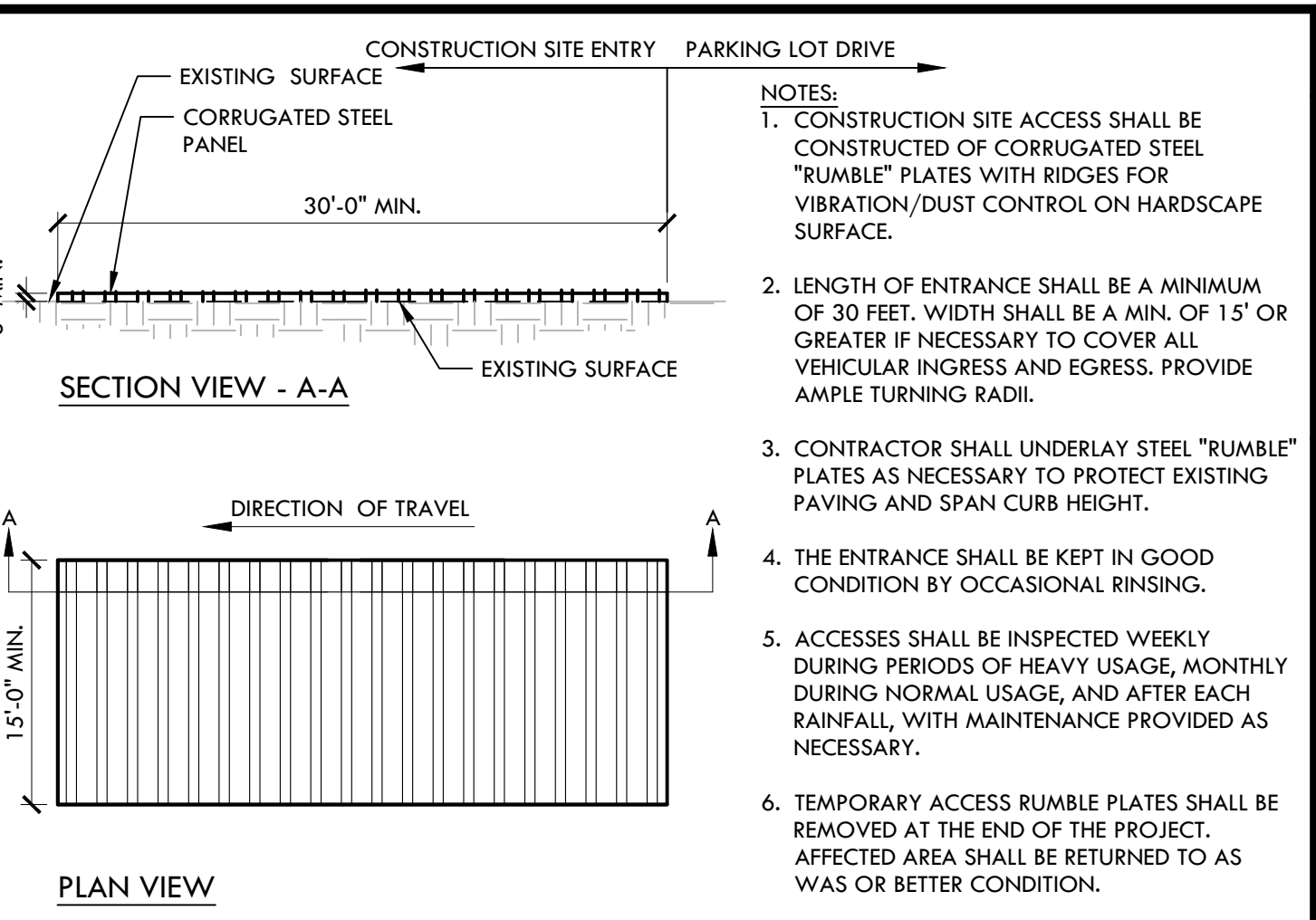
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D CONSTRUCTION CONCRETE WASHOUT FACILITY NTS



C STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS NTS



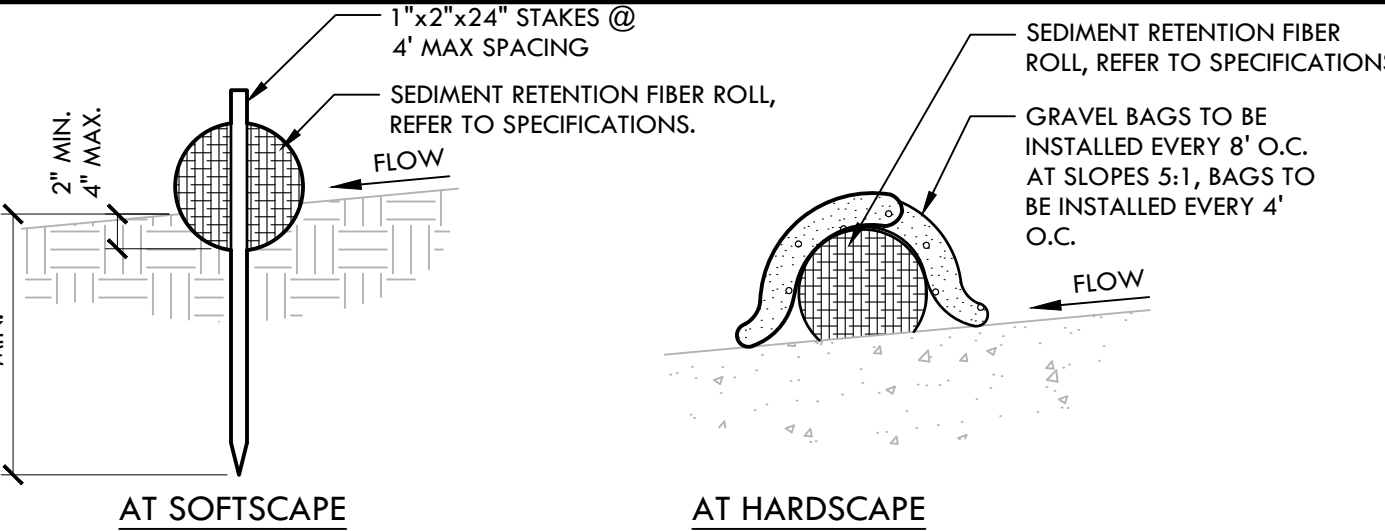
B RUMBLE PLATE CONSTRUCTION ENTRY NTS

EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY DISTRICT'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

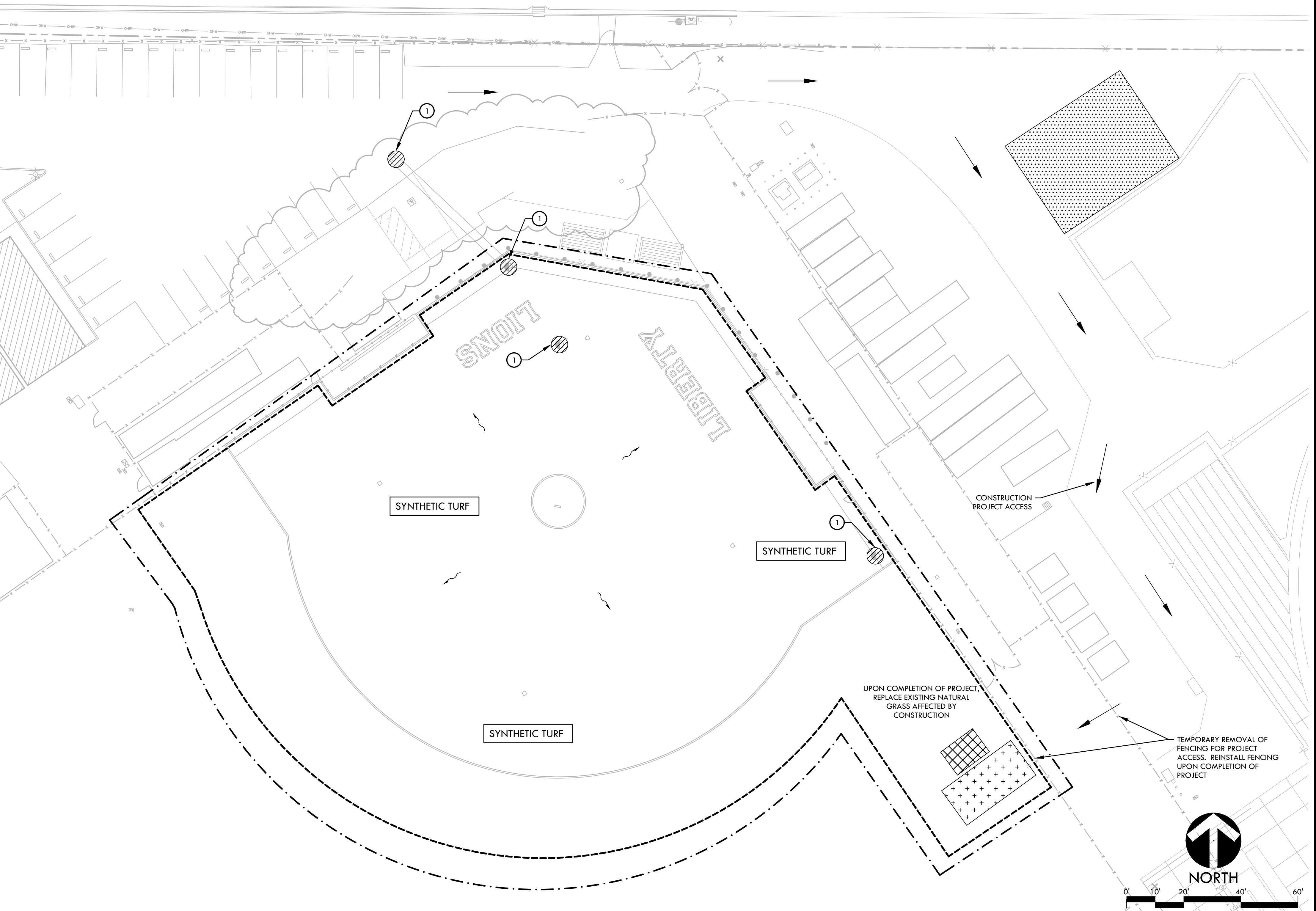
EROSION AND SEDIMENT CONTROL LEGEND

SYM	DESCRIPTION	DTL REF
①	STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS	C
---	LIMIT OF WORK	
-----	SEDIMENT RETENTION FILTER ROLL	A, D
XXXXXX	CONSTRUCTION CONCRETE WASHOUT FACILITY	
+++++	CONSTRUCTION STAGING AREA	
	RUMBLE PLATE CONSTRUCTION ENTRY	B
~	DIRECTION OF SURFACE FLOW	



- NOTES:
1. INSTALL SEDIMENT RETENTION FIBER ROLLS (FIBER ROLLS / WATTLES) AS LOCATED ON PLANS AND AS REQUIRED PER THE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE.
 2. FIBER ROLLS SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS FLOW PATH OF POTENTIAL RUN-OFF AND RUN-ON.
 3. PREPARE GRADES REMOVING SURFACE DEVIATIONS, LARGE STONES OR DEBRIS THAT WILL INHIBIT CONTINUOUS CONTACT OF THE FIBER ROLL WITH THE GRADE.
 4. PRIOR TO FIBER ROLL INSTALLATION EXCAVATE A CONCAVE TRENCH 2" MIN., 4" MAX. DEEP ALONG THE PROPOSED FIBER ROLL LOCATION.
 5. INSTALL FIBER ROLLS WITH CONTINUOUS CONTACT OF THE BOTTOM OF THE EXCAVATED TRENCH.
 6. STAKE ROLL ON BOTH SIDES 2' FROM OF ENDS AND AT 4' MAXIMUM SPACING WITH 1"X2"X24" STAKES. DRIVE STAKES IN ON ALTERNATING SIDES OF THE ROLL AND OVERLAP ABUTTING ROLL ENDS 12" MIN.
 7. BACKFILLED BOTH SIDES TO WATTLE AND TAMP SOIL TO FIRM AND STABLE.
 8. CONTRACTOR SHALL MAKE WEEKLY INSPECTIONS OR AS INDICATED IN STORMWATER POLLUTION PREVENTION PLAN, OR THE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE.

A SEDIMENT RETENTION FIBER ROLL NTS



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CONSULTANT

SHEET TITLE

EROSION AND SEDIMENT CONTROL PLAN BASEBALL FIELD

PROJECT NAME
LIBERTY HIGH SCHOOL BASEBALL INFIELD & SOFTBALL OUTFIELD IMPROVEMENTS

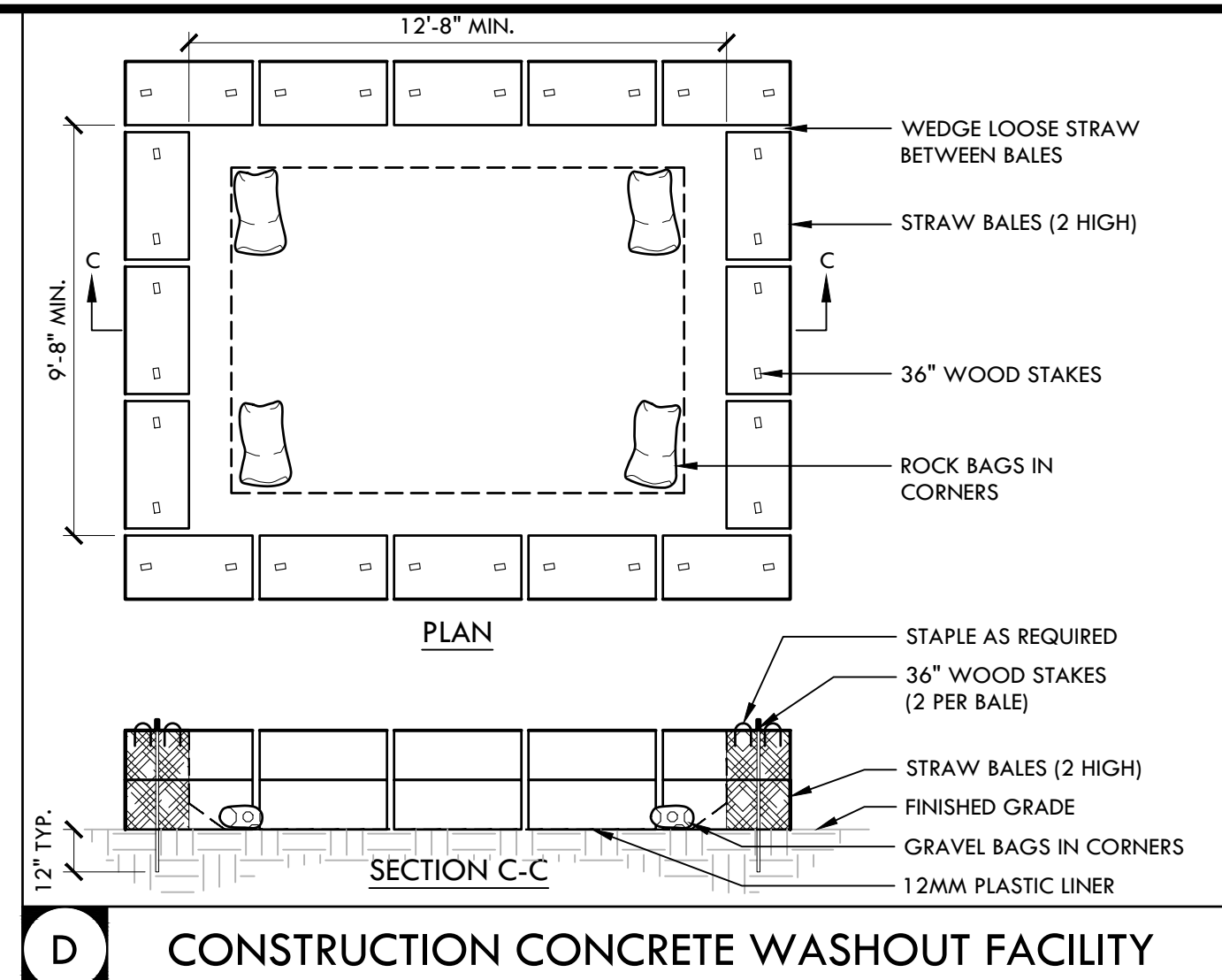
PROJECT ADDRESS
850 2ND ST BRENTWOOD, CA 94513

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

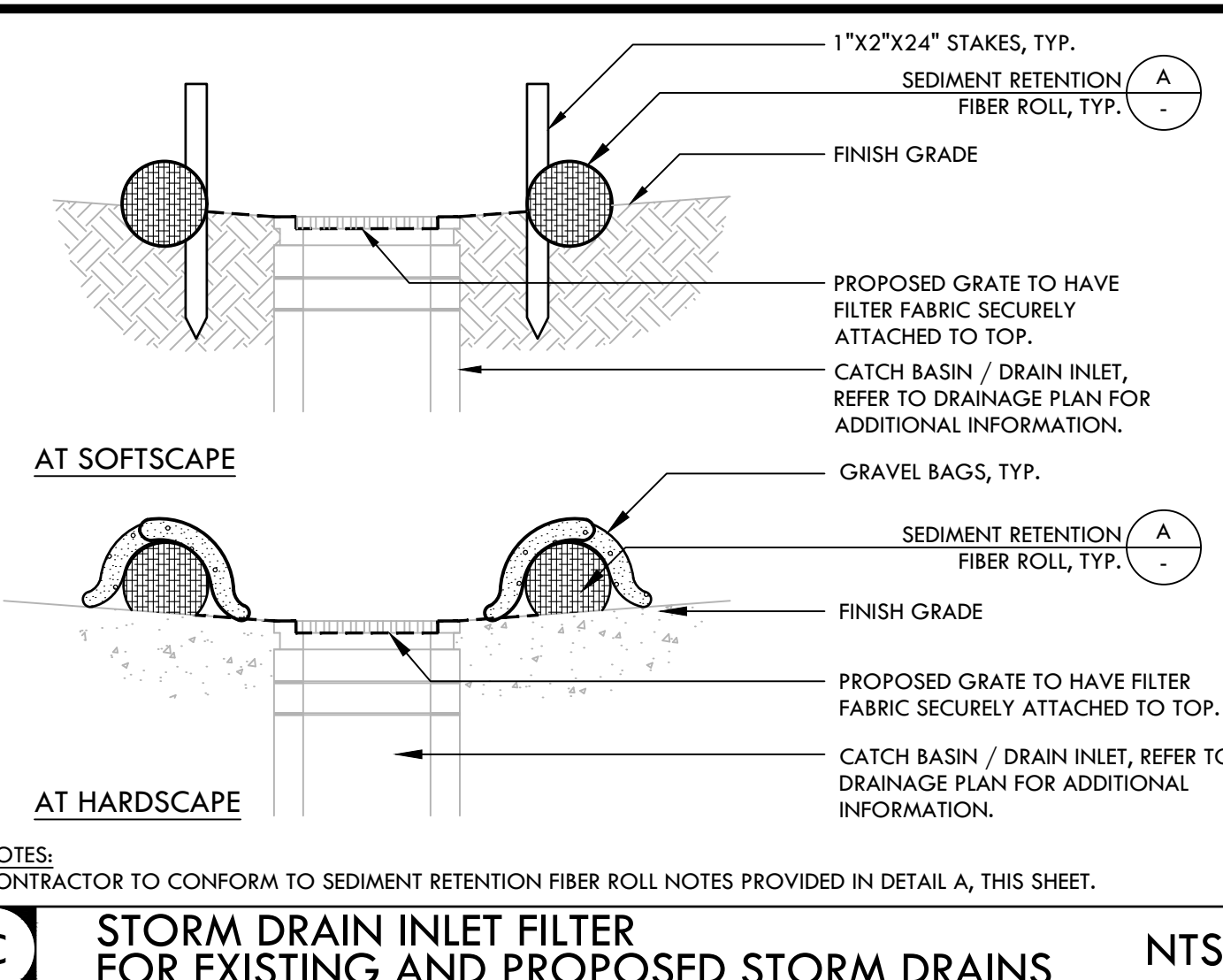
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DATE ISSUED 04/01/2022	SCALE AS NOTED
PROJ. NO. 2111100	
SHEET NO. L-L2.1	

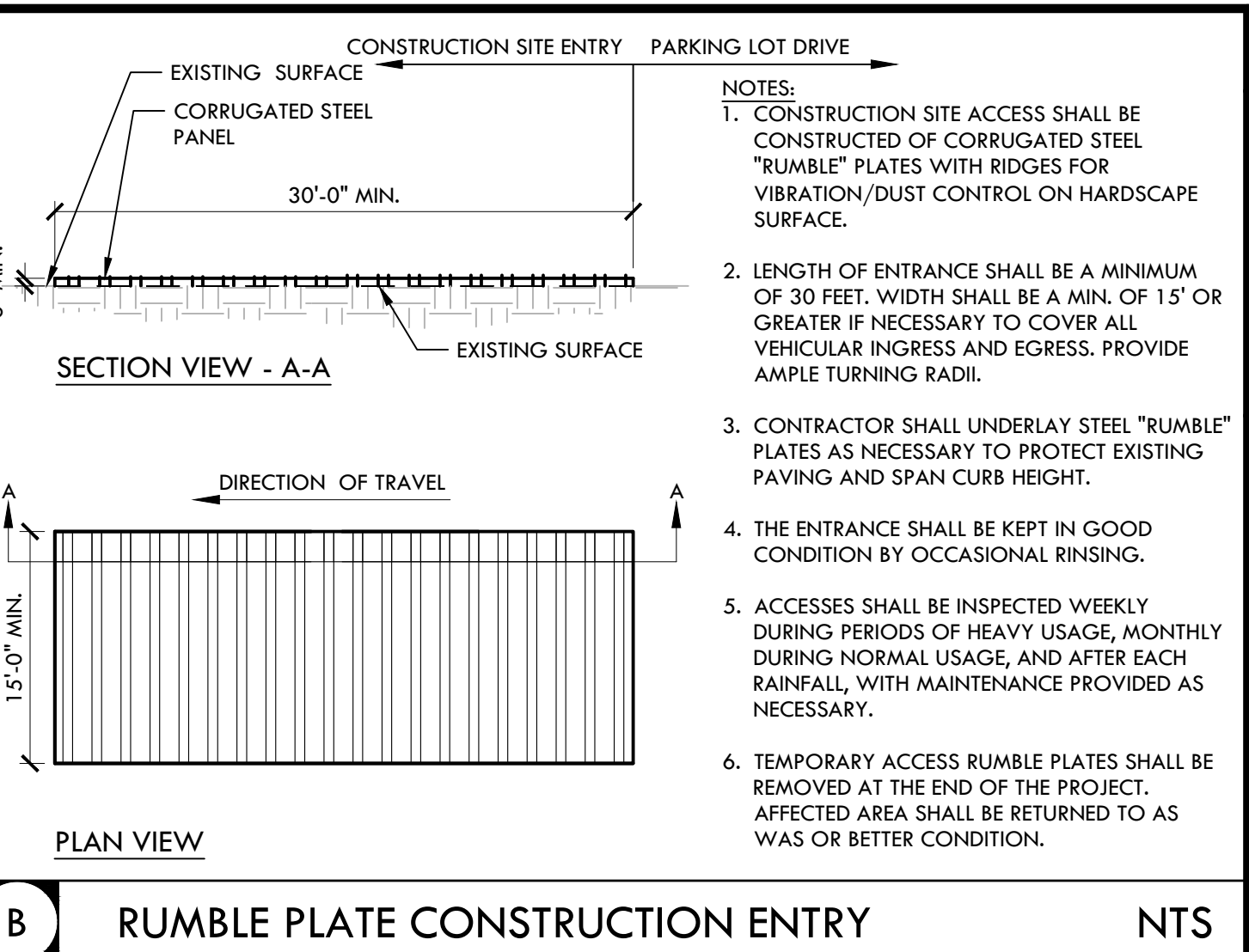
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D CONSTRUCTION CONCRETE WASHOUT FACILITY NTS



C STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS NTS



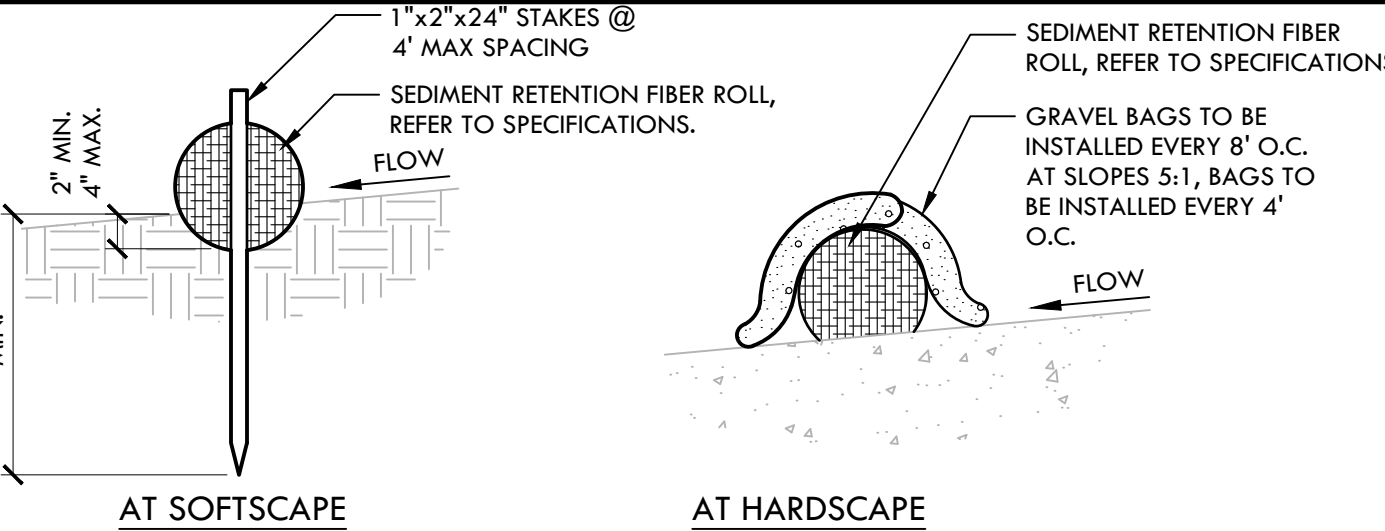
B RUMBLE PLATE CONSTRUCTION ENTRY NTS

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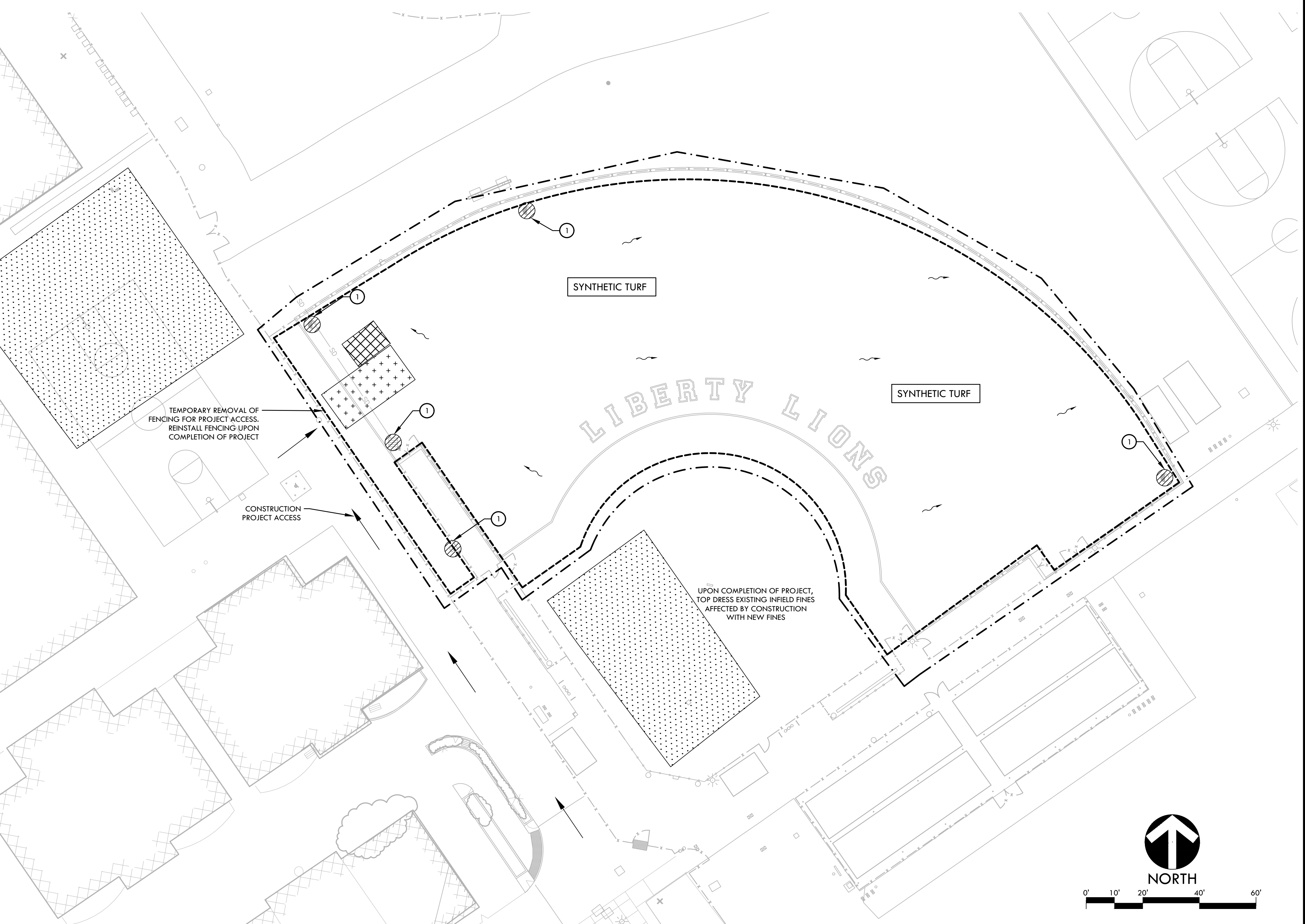
EROSION AND SEDIMENT CONTROL LEGEND

SYM	DESCRIPTION	DTL REF
(1) [Symbol]	STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS	(C)
[Symbol]	LIMIT OF WORK	
[Symbol]	SEDIMENT RETENTION FILTER ROLL	(A)
[Symbol]	CONSTRUCTION CONCRETE WASHOUT FACILITY	(D)
[Symbol]	CONSTRUCTION STAGING AREA	
[Symbol]	RUMBLE PLATE CONSTRUCTION ENTRY	(B)
[Symbol]	DIRECTION OF SURFACE FLOW	



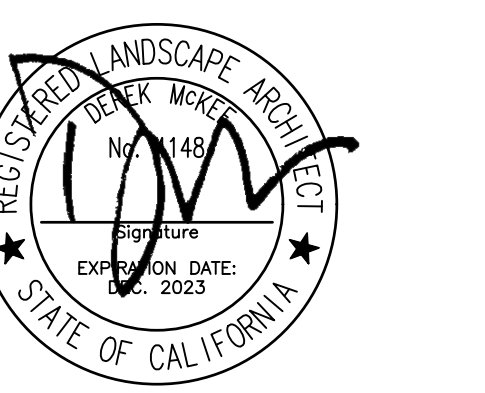
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A SEDIMENT RETENTION FIBER ROLL NTS



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STAMP

CONSULTANT

SHEET TITLE

**EROSION AND SEDIMENT CONTROL PLAN
SOFTBALL FIELD**

PROJECT NAME
**LIBERTY HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

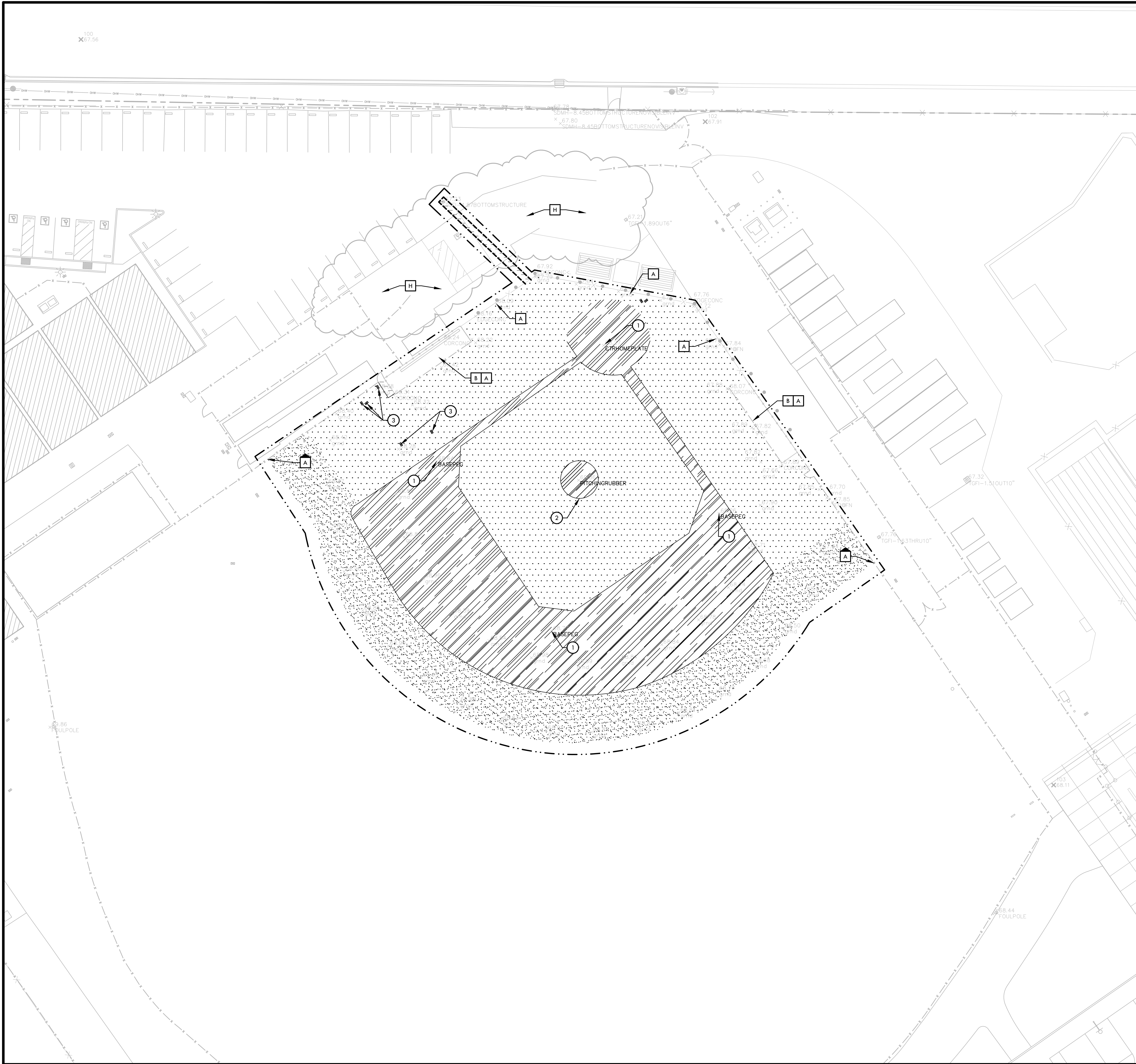
PROJECT ADDRESS
**850 2ND ST
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94513**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

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SHEET NO. L-L2.2	

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DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS AND SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND PROVIDE THE REQUIRED COORDINATION FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
3. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID SUBMITTAL TO DETERMINE THE EXACT EXTENT AND DEPTH OF SITE DEMOLITION REQUIRED AND VERIFY COMPLIANCE WITH DRAWINGS. THE OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE AND REDIRECT WORK TO AVOID DELAY.
5. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
6. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE AND SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES AS NECESSARY AND SHALL BE MINIMUM 6 FEET HIGH WITH A TOP AND BOTTOM RAIL WITH KNUCKLED TOP AND BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). FENCE SHALL INCLUDE FULL HEIGHT GREEN SHADE CLOTH COVERING. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "BLAZE ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRIP LINE OR PERIMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
8. DEMOLITION SHALL INCLUDE THE REMOVAL OF ITEM AND ANY FOUNDATION OR STRUCTURAL SUPPORT RELATED TO ITEM FOR PLANT MATERIAL THIS SHALL INCLUDE STUMPS AND ROOTS OVER 2 INCHES IN DIAMETER. DISPOSAL SHALL BE OFF-SITE IN A LEGAL MANNER ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
9. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING AND OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

SYM	DESCRIPTION
1	LIMIT OF WORK / CONSTRUCTION FENCING
2	SAWCUT EXISTING PAVING
3	EXISTING SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. EXISTING TOP SOIL SHALL BE REMOVED FROM SITE. REFER TO SPECIFICATIONS FOR INFORMATION. REMOVE EXCESS SOIL FROM SITE.
4	EXISTING INFELD FINES (APPROXIMATE DEPTH OF 4") TO BE REMOVED AND REUSED FOR BASE LAYERS OF NEW INFELD FINES AREAS. REFER TO DETAIL F, SHEET D2.1. LEFT OVER INFELD FINES TO BE DISPOSED OF.
5	EXISTING HARDSCAPE AND BASE MATERIAL TO BE REMOVED
6	EXISTING SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. EXISTING TOPSOIL TO REMAIN. REFER TO SPECIFICATIONS FOR INFORMATION.

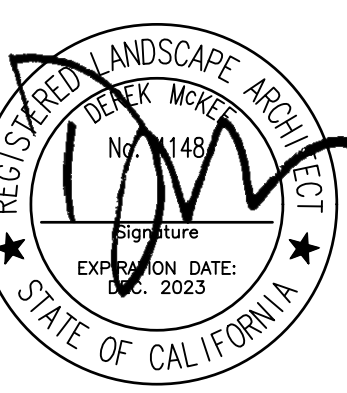
- ### ITEMS TO BE DEMOLISHED AND/OR REMOVED
- 1 EXISTING BASE/PLATE AND PEG TO BE REMOVED
 - 2 EXISTING PITCHER'S MOUND INCLUDING PITCHER'S PLATE AND BASE TO BE DEMOLISHED AND REMOVED.
 - 3 REFER TO IRRIGATION DEMOLITION PLAN SHEET L-L3.3 & L-L3.4 FOR IRRIGATION DEMOLITION.

- ### ITEMS TO BE PROTECTED OR RELOCATED
- A EXISTING FENCE TO REMAIN AND BE PROTECTED. CONTRACTOR TO CHIP DOWN TOP OF EXISTING FENCE FOOTING TO ACCOMMODATE NEW CONCRETE SUB-CURB.
 - B EXISTING DUGOUT TO REMAIN AND BE PROTECTED.
 - C EXISTING FOUL POLE TO REMAIN AND BE PROTECTED.
 - D EXISTING BULLPEN TO REMAIN AND BE PROTECTED.
 - E EXISTING AREA DRAIN TO REMAIN. CONTRACTOR TO CONVERT AREA DRAIN TO JUNCTION BOX, REFER TO DETAIL G, SHEET D1.1.
 - F POT HOLE AND LOCATE EXISTING STORM DRAIN LINE. EXISTING STORM DRAIN LINE TO REMAIN AND BE PROTECTED. STORM DRAIN LINE TO SERVE AS DRAINAGE POINT OF CONNECTION, REFER TO DRAINAGE PLANS, SHEET H-L5.1 & H-L5.2.
 - G EXISTING SCOREBOARD TO REMAIN AND BE PROTECTED.
 - H EXISTING TREES TO REMAIN AND BE PROTECTED. REFER TO SPECIFICATIONS.
 - I EXISTING FENCE TO REMAIN AND BE PROTECTED. EXISTING FENCE TO BE TEMPORARILY REMOVED FOR THE INSTALLATION OF NEW EDGE BAND. CONTRACTOR TO CHIP DOWN TOP OF EXISTING FENCE FOOTING TO ACCOMMODATE NEW CONCRETE EDGE BAND.



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CONSULTANT

SHEET TITLE
**DEMOLITION
PLAN
BASEBALL FIELD**

PROJECT NAME
**LIBERTY HIGH SCHOOL
BASEBALL INFELD &
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IMPROVEMENTS**

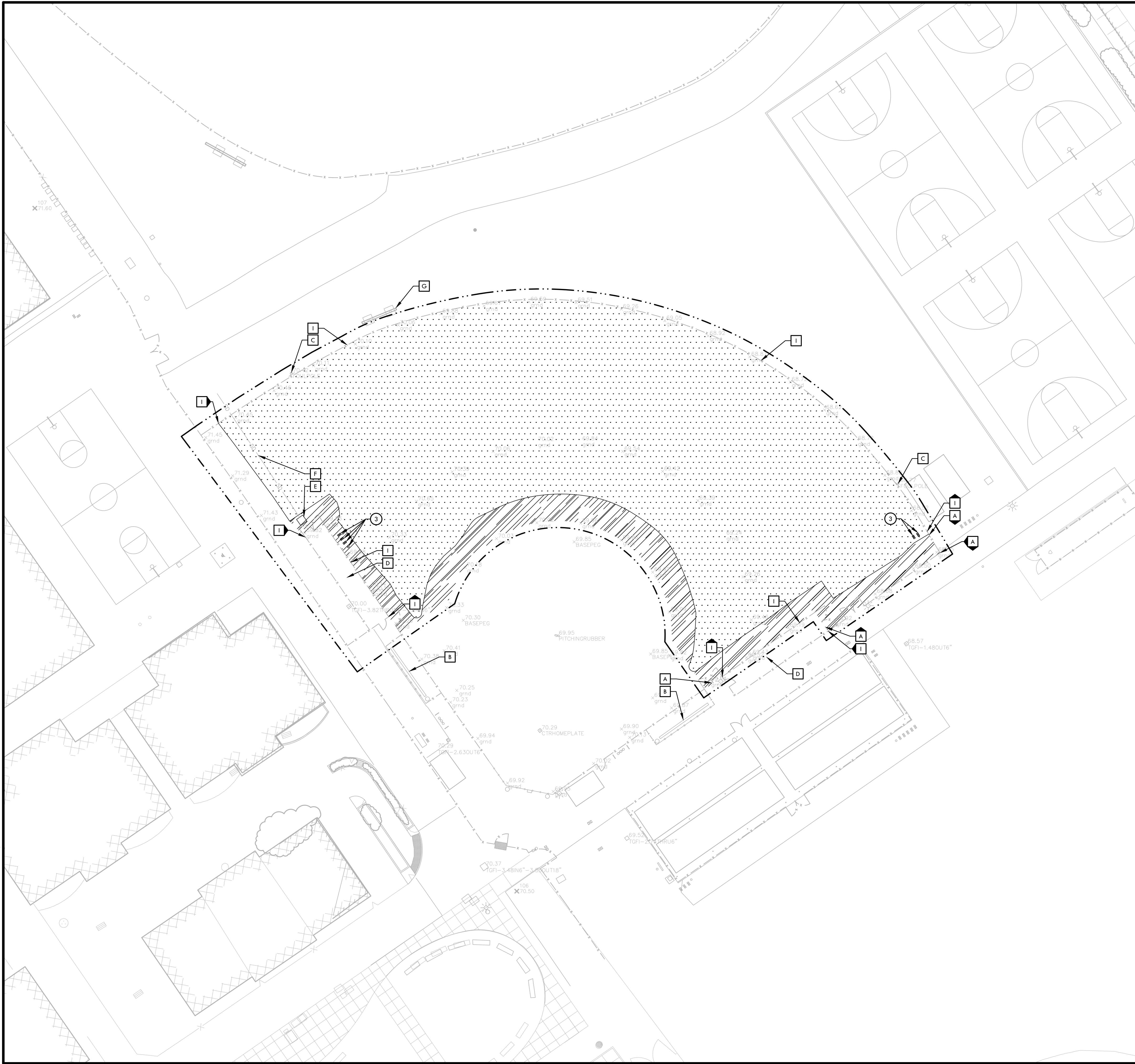
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DEMOLITION NOTES

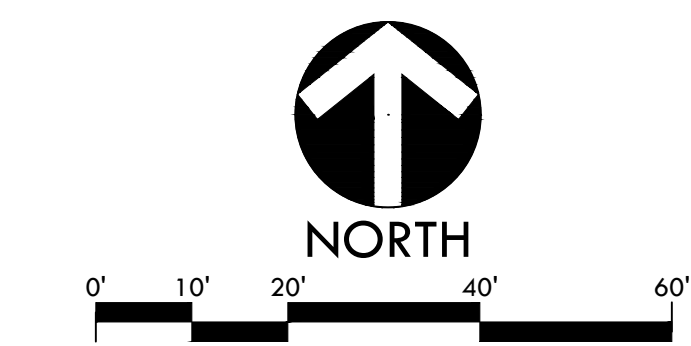
1. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS AND SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND PROVIDE THE REQUIRED COORDINATION FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
3. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID SUBMITTAL TO DETERMINE THE EXACT EXTENT AND DEPTH OF SITE DEMOLITION REQUIRED AND VERIFY COMPLIANCE WITH DRAWINGS. THE OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE AND REDIRECT WORK TO AVOID DELAY.
5. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
6. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE AND SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES AS NECESSARY AND SHALL BE MINIMUM 6 FEET HIGH WITH A TOP AND BOTTOM RAIL WITH KNUCKLED TOP AND BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). FENCE SHALL INCLUDE FULL HEIGHT GREEN SHADE CLOTH COVERINGS. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "BLAZE ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRIP LINE OR PERIMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
8. DEMOLITION SHALL INCLUDE THE REMOVAL OF ITEM AND ANY FOUNDATION OR STRUCTURAL SUPPORT RELATED TO ITEM FOR PLANT MATERIAL THIS SHALL INCLUDE STUMPS AND ROOTS OVER 2 INCHES IN DIAMETER. DISPOSAL SHALL BE OFF-SITE IN A LEGAL MANNER ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
9. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING AND OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK / CONSTRUCTION FENCING
	SAWCUT EXISTING PAVING
	EXISTING SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. EXISTING TOP SOIL SHALL BE REMOVED FROM SITE. REFER TO SPECIFICATIONS FOR INFORMATION. REMOVE EXCESS SOIL FROM SITE.
	EXISTING INFIELD FINES (APPROXIMATE DEPTH OF 4") TO BE REMOVED AND REUSED FOR BASE LAYERS OF NEW INFIELD FINES AREAS. REFER TO DETAIL F, SHEET D2.1. LEFT OVER INFIELD FINES TO BE DISPOSED OF.
	EXISTING HARDSCAPE AND BASE MATERIAL TO BE REMOVED
	EXISTING SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. EXISTING TOPSOIL TO REMAIN. REFER TO SPECIFICATIONS FOR INFORMATION.

- #### ITEMS TO BE DEMOLISHED AND/OR REMOVED
- 1 EXISTING BASE/PLATE AND PEG TO BE REMOVED
 - 2 EXISTING PITCHER'S MOUND INCLUDING PITCHER'S PLATE AND BASE TO BE DEMOLISHED AND REMOVED.
 - 3 REFER TO IRRIGATION DEMOLITION PLAN SHEET L-L3.3 & L-L3.4 FOR IRRIGATION DEMOLITION.

- #### ITEMS TO BE PROTECTED OR RELOCATED
- A EXISTING FENCE TO REMAIN AND BE PROTECTED. CONTRACTOR TO CHIP DOWN TOP OF EXISTING FENCE FOOTING TO ACCOMMODATE NEW CONCRETE SUB-CURB.
 - B EXISTING DUGOUT TO REMAIN AND BE PROTECTED.
 - C EXISTING FOUL POLE TO REMAIN AND BE PROTECTED.
 - D EXISTING BULLPEN TO REMAIN AND BE PROTECTED.
 - E EXISTING AREA DRAIN TO REMAIN. CONTRACTOR TO CONVERT AREA DRAIN TO JUNCTION BOX, REFER TO DETAIL G, SHEET D1.1.
 - F POTHOLE AND LOCATE EXISTING STORM DRAIN LINE. EXISTING STORM DRAIN LINE TO REMAIN AND BE PROTECTED. STORM DRAIN LINE TO SERVE AS DRAINAGE POINT OF CONNECTION, REFER TO DRAINAGE PLANS, SHEET H-L5.1 & H-L5.2.
 - G EXISTING SCOREBOARD TO REMAIN AND BE PROTECTED.
 - H EXISTING TREES TO REMAIN AND BE PROTECTED. REFER TO SPECIFICATIONS.
 - I EXISTING FENCE TO REMAIN AND BE PROTECTED. EXISTING FENCE TO BE TEMPORARILY REMOVED FOR THE INSTALLATION OF NEW EDGE BAND. CONTRACTOR TO CHIP DOWN TOP OF EXISTING FENCE FOOTING TO ACCOMMODATE NEW CONCRETE EDGE BAND.



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STAMP
 CONSULTANT

SHEET TITLE
**DEMOLITION PLAN
 SOFTBALL FIELD**

PROJECT NAME
**LIBERTY HIGH SCHOOL
 BASEBALL INFIELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

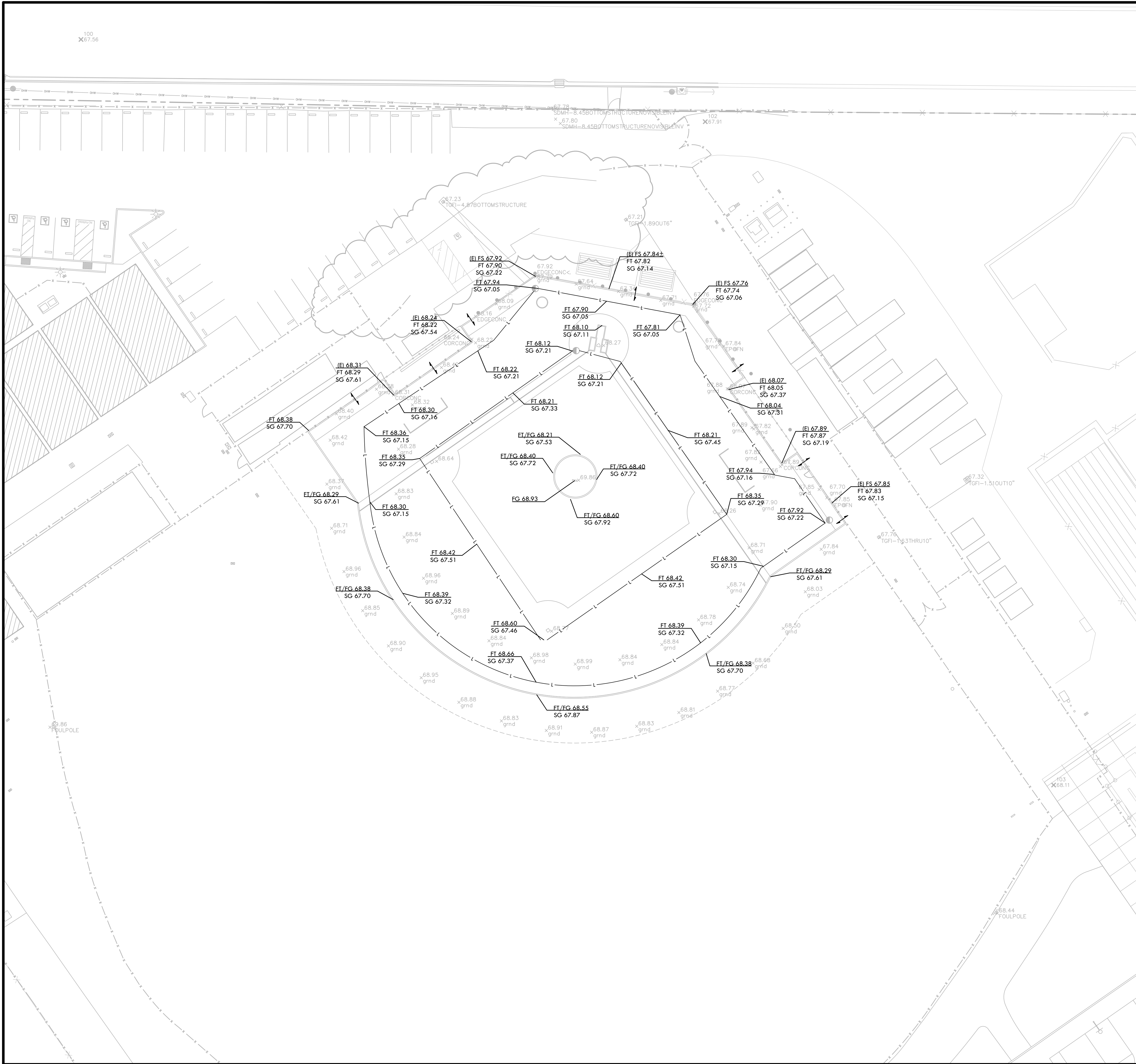
PROJECT ADDRESS
**850 2ND ST
 BRENTWOOD, CA
 94513**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
▲	ADDENDUM 1	05/13/22
▲		
▲		
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▲		

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DATE ISSUED 04/01/2022	SCALE 1"=20'-0"
PROJ. NO. 2111100	
SHEET NO. L-L3.2	▲

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GRADING NOTES

- EXISTING GRADES ARE BASED ON INFORMATION PROVIDED BY: _____ CONTRACTOR SHALL VERIFY EXISTING GRADES FOR ACCURACY PRIOR TO THE START OF GRADING, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE AND REDIRECT WORK TO AVOID DELAY.
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- PROPOSED GRADES SHALL MEET EXISTING GRADES WITH A SMOOTH AND CONTINUOUS TRANSITION SO AS TO AVOID TRAPPING WATER. CONTRACTOR SHALL NOTIFY DISTRICT REPRESENTATIVE IF PUDDLING IS SUSPECTED AND REDIRECT WORK SO AS TO AVOID DELAY WHILE AWAITING RESPONSE.
- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.

GRADING LEGEND

SYM	DESCRIPTION
	PROPOSED CONTOUR
	PROPOSED SUBGRADE CONTOUR
FG 32.00	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
FT 32.00	PROPOSED ELEVATION OF TOP OF SYNTHETIC TURF INFILL
FS 32.00	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
HP 32.00	HIGH POINT/ HIGH POINT OF SWALE
RIM 31.00	LOW POINT/ RIM ELEVATION OF DRAIN
SG 32.00	PROPOSED FINISH SUBGRADE ELEVATION
TC 32.50	TOP OF CURB
TW 34.00	TOP OF WALL
FF 92.00	FINISHED FLOOR ELEVATION
TD 99.00	TOP OF TRENCH DRAIN
	CENTER LINE OF SWALE
	CROWN OF FIELD, OR RIDGE LINE
	LOW POINT OF FIELD OR SWALE AT SUBGRADE ELEVATION
SGL	SUB GRADE LOW POINT
SGR	SUB GRADE RIDGE
	TOP OF SYNTHETIC TURF INFILL TO BE 0.02' BELOW ADJACENT CONCRETE
	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
+ 102.1	EXISTING ELEVATION



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GRADING PLAN BASEBALL FIELD

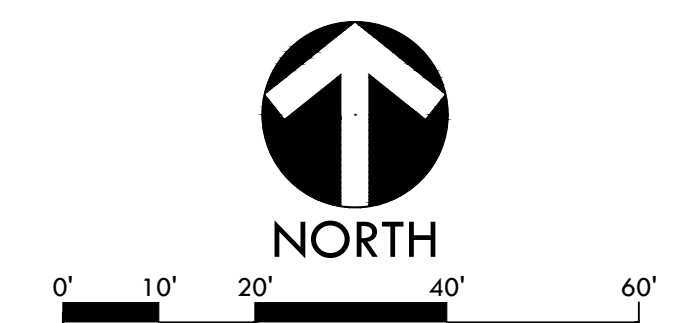
PROJECT NAME
**LIBERTY HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

PROJECT ADDRESS
**850 2ND ST
BRENTWOOD, CA
94513**

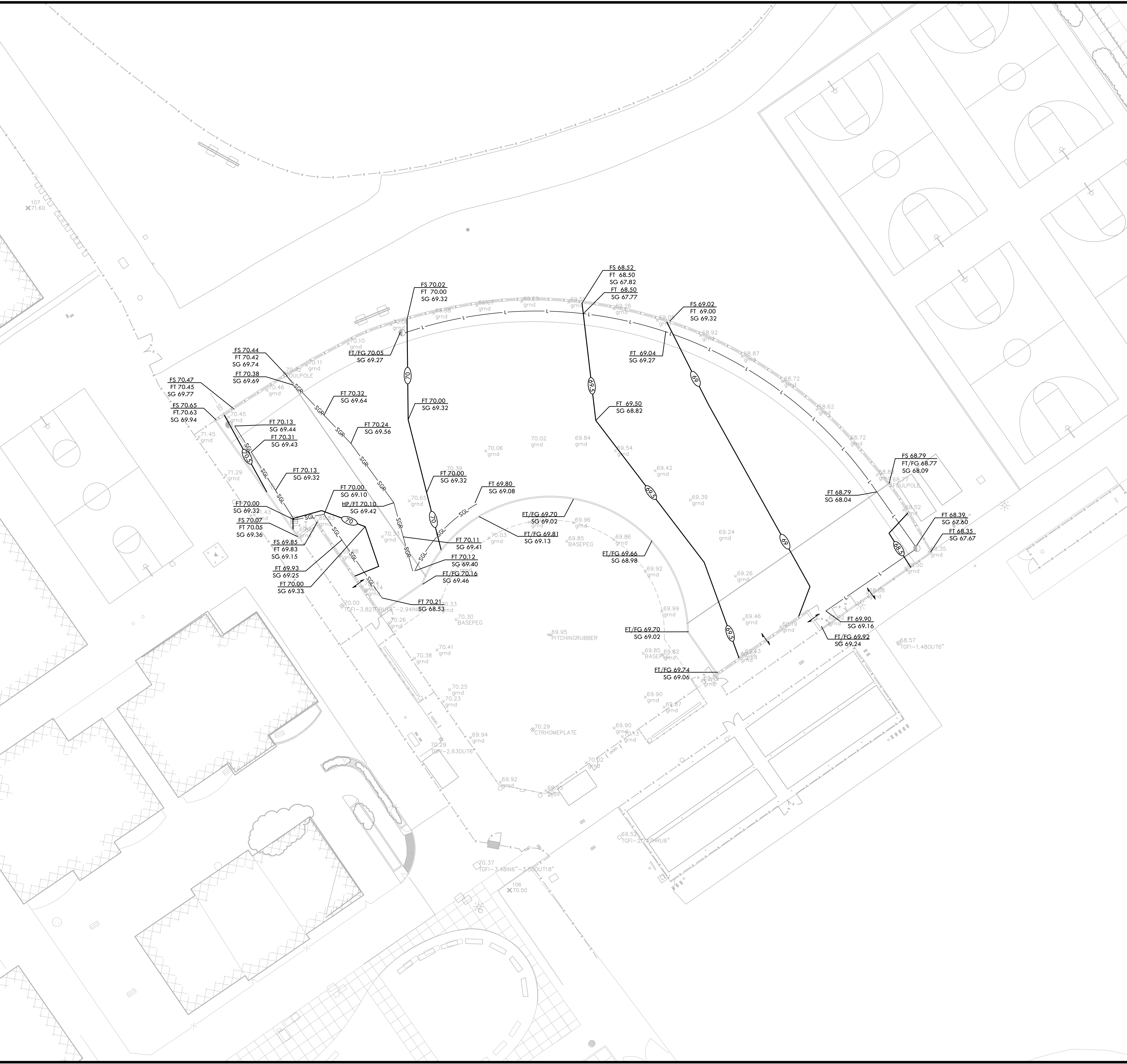
SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
▲	ADDENDUM 1	05/13/22
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DATE ISSUED 04/01/2022	SCALE 1"=20'-0"
PROJ. NO. 2111100	SHEET NO. L-L4.1



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- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.

GRADING LEGEND

SYM	DESCRIPTION
108	PROPOSED CONTOUR
30	PROPOSED SUBGRADE CONTOUR
FG 32.00	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
FT 32.00	PROPOSED ELEVATION OF TOP OF SYNTHETIC TURF INFILL
FS 32.00	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
HP 32.00	HIGH POINT/ HIGH POINT OF SWALE
RIM 31.00	LOW POINT/ RIM ELEVATION OF DRAIN
SG 32.00	PROPOSED FINISH SUBGRADE ELEVATION
TC 32.50	TOP OF CURB
TW 34.00	TOP OF WALL
FF 99.00	FINISHED FLOOR ELEVATION
TD 99.00	TOP OF TRENCH DRAIN
—	CROWN OF FIELD, OR RIDGE LINE
—	LOW POINT OF FIELD OR SWALE AT SUBGRADE ELEVATION
SGL	SUB GRADE LOW POINT
SGR	SUB GRADE RIDGE
↑	TOP OF SYNTHETIC TURF INFILL TO BE 0.02' BELOW ADJACENT CONCRETE
---	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
+ 102.1	EXISTING ELEVATION



NORTH





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CONSULTANT

GRADING PLAN SOFTBALL FIELD

PROJECT NAME
**LIBERTY HIGH SCHOOL
 BASEBALL INFIELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

PROJECT ADDRESS
**850 2ND ST
 BRENTWOOD, CA
 94513**

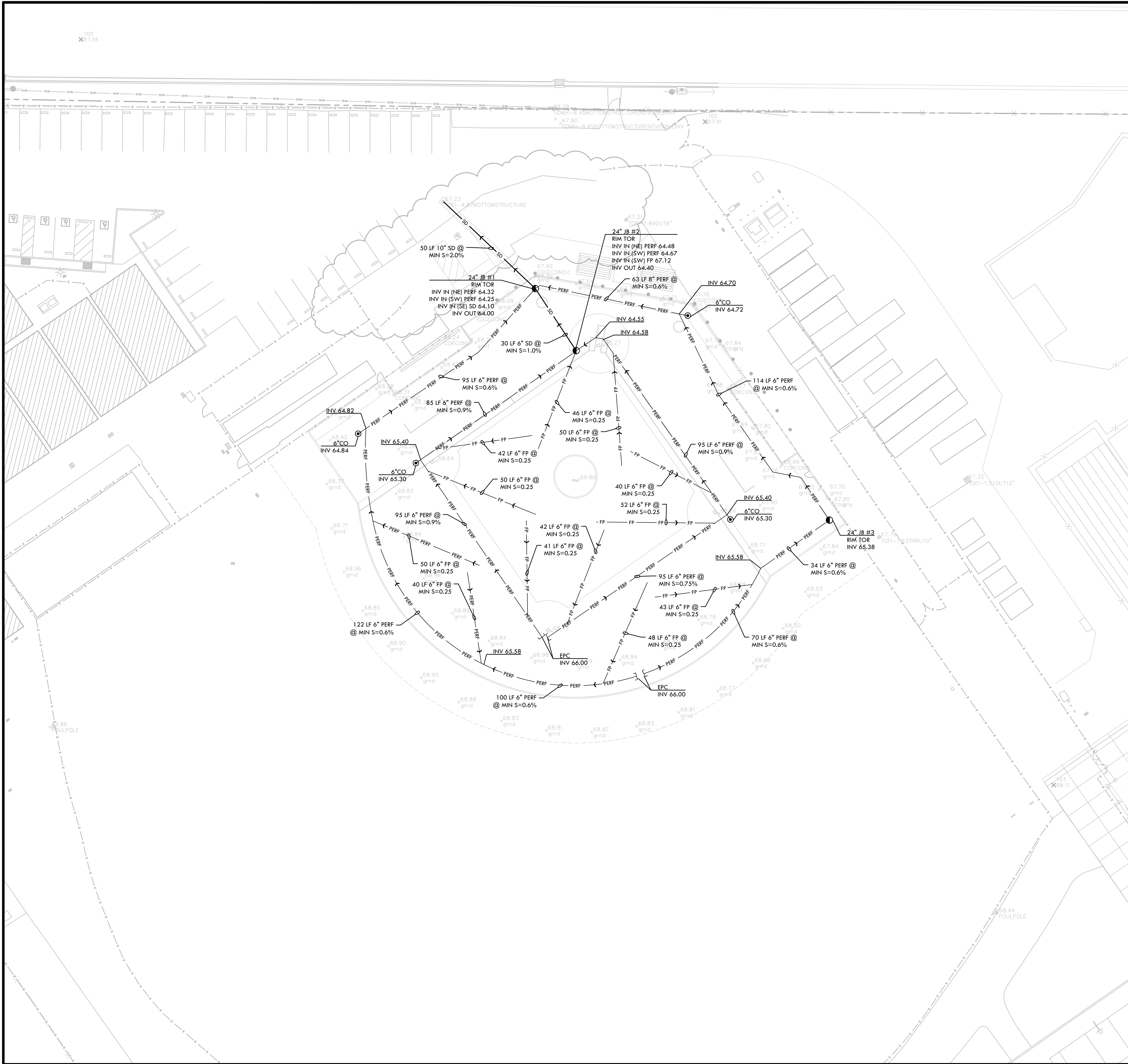
SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
1	ADDENDUM 1	05/13/22

NO.	REVISIONS	DATE

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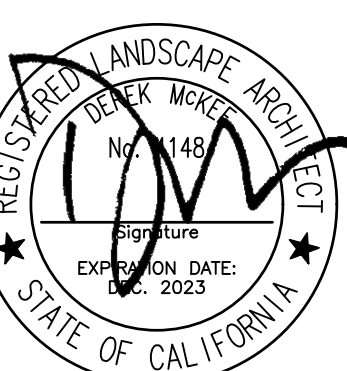


DRAINAGE & UTILITY NOTES

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- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. TO REMAIN, SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.
- THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
- COORDINATE ALL SLEEVING AND UTILITY LOCATIONS AS SHOWN ON THE PLANS AND DETAILS CONTAINED WITHIN THESE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO ENSURE THAT ALL REMAINING ACTIVE AND NEW DRAINAGE AND UTILITY LINES ARE PROTECTED AND UNDAMAGED FROM TRENCHING AND FOOTING EXCAVATIONS FOR NEW FOOTINGS, PARTICULARLY FOR NEW FENCING AND WALLS.
- ALL ABANDONED STORM LINES SHALL REMAIN IN PLACE UNLESS IN CONFLICT WITH PROPOSED DRAINAGE, UTILITY, OR SUBGRADING OPERATIONS, IN WHICH CASE ABANDONED PIPE IN CONFLICT SHALL BE REMOVED. REMAINING ABANDONED STORM PIPE SHALL BE SEALED WITH APPROPRIATELY SIZED CONCRETE CAP (3 SACK MIX) 6\"/>

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DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER	SHEET NUMBER
	CATCH BASIN, SIZE PER PLAN	B	D1.1
	JUNCTION BOX, SIZE PER PLAN	C	D1.1
	CLEANOUT IN SYNTHETIC TURF	D	D1.1
	CONVERT EXISTING CATCH BASIN TO JUNCTION BOX IN SYNTHETIC TURF	G	D1.1
	SOLID WALL STORM DRAIN	A	D1.1
	PERFORATED SUBDRAIN LINE	H	D1.1
	FLAT PANEL - BID ALTERNATE C	F	D1.1
	END PIPE CAP		
(E)	EXISTING		
CB	CATCH BASIN		
INV	INVERT		
RIM	RIM ELEVATION		
TOR	TOP OF ROCK ELEVATION		
LF	LINEAR FEET		
COIT	CLEANOUT IN TURF		
COIF	CLEANOUT IN INFELD FINES		
COTG	CLEANOUT TO GRADE		
SSCO	SANITARY SEWER CLEANOUT		
S=0.5%	SLOPE		
MIN.	MINIMUM		
TD	TRENCH DRAIN ELEVATION		
N, S, W, EA,	NORTH, SOUTH, WEST, EAST		

CONSULTANT

SHEET TITLE

**DRAINAGE AND UTILITY PLAN
BASEBALL FIELD**

PROJECT NAME

**LIBERTY HIGH SCHOOL
BASEBALL INFELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

PROJECT ADDRESS

**850 2ND ST
BRENTWOOD, CA
94513**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

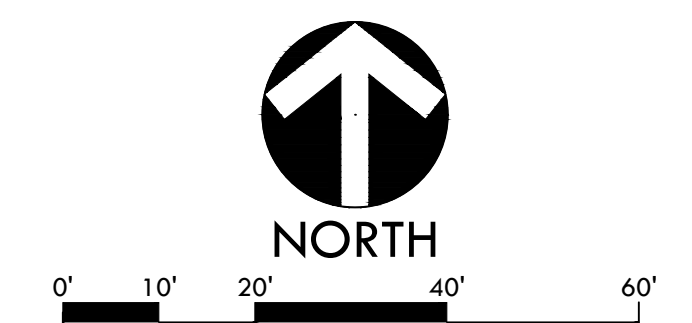
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▲	ADDENDUM 1	05/13/22
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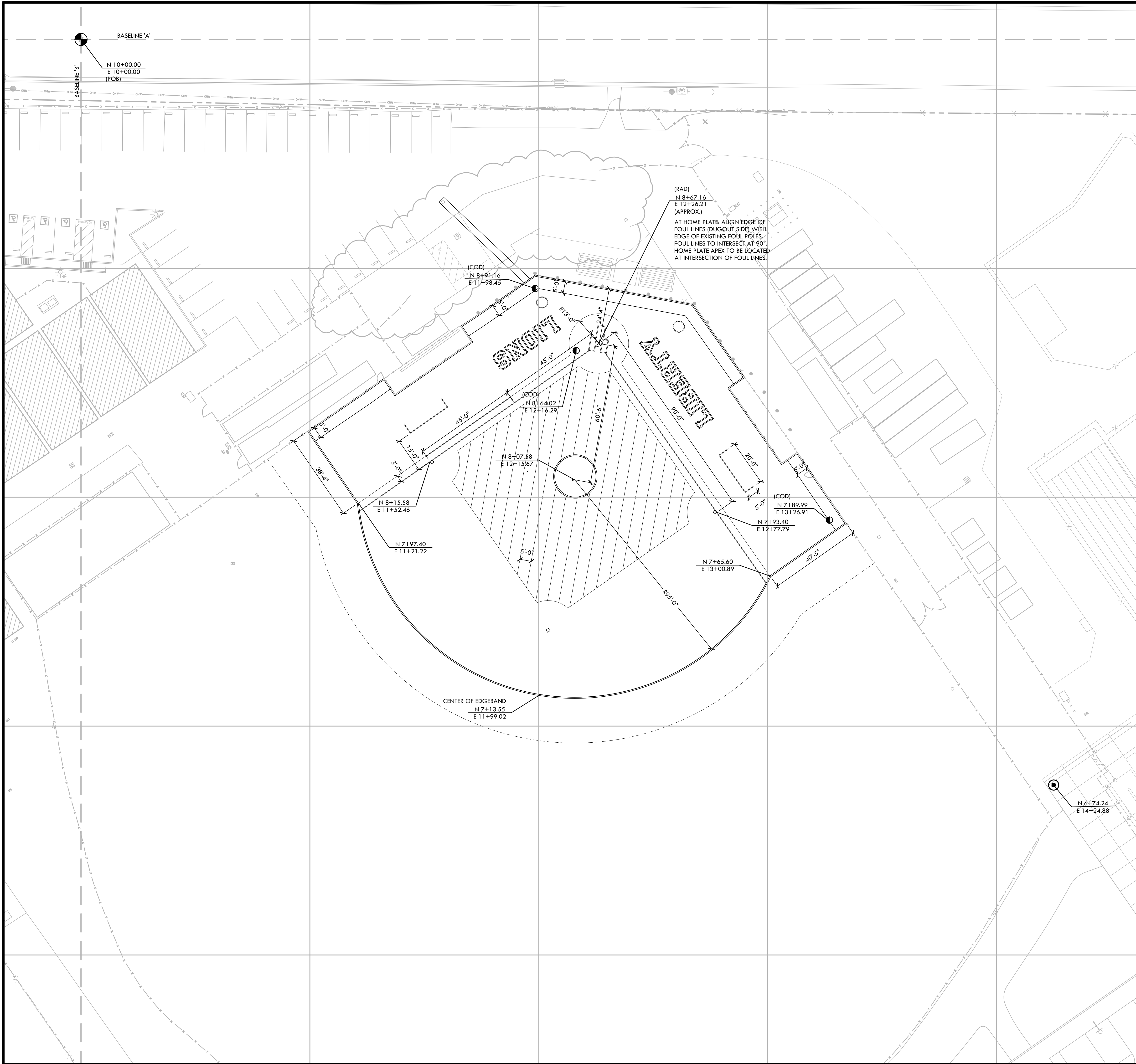
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PROJ. NO.: 2111100

SHEET NO.: L-L5.1



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LAYOUT NOTES

1. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS AND REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD DISCREPANCY ARISE AND REDIRECT WORK TO AVOID DELAYS.
2. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD AND CHALKED, STRING LINED OR FLAGGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MINOR ADJUSTMENTS MADE TO ACHIEVE OVERALL DESIGN LAYOUT SHALL BE ACCEPTED BY THE OWNER PRIOR TO CONSTRUCTION.
3. LAYOUT IS BASED ON THE POINT(S) OF BEGINNING (P.O.B.) AND BASELINE(S) OR GRID SYSTEM AS SHOWN. DIMENSIONS SHOWN ARE ROUNDED TO THE NEAREST INCH.
4. ALL LAYOUT AND GRADES SHALL BE COMPLETED BY A LICENSED SURVEYOR.

LAYOUT LEGEND

SYM	DESCRIPTION
	POINT OF BEGINNING SYMBOL
	CONTROL POINT
	RADIUS POINT / CENTER MARK
	PROPOSED ANGLE BETWEEN ELEMENTS
	ALIGN EDGES OF ELEMENTS
	BASELINE & GRID
	CONTROL LINE
	CENTER LINES
N 12+21.95 E 12+97.08	NORTHING/EASTING LAYOUT COORDINATE CALLOUT
(COD)	CENTER OF DRAIN - NEW JUNCTION BOX
(COP)	CENTER OF POST
(POB)	POINT OF BEGINNING FOR GRID LAYOUT
(RAD)	RADIUS POINT
(TAN)	TANGENT POINT

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CONSULTANT

SHEET TITLE
**LAYOUT
 PLAN
 BASEBALL FIELD**

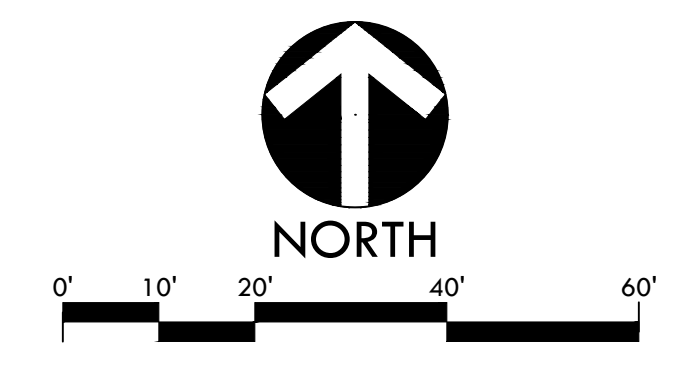
PROJECT NAME
**LIBERTY HIGH SCHOOL
 BASEBALL INFIELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

PROJECT ADDRESS
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 BRENTWOOD, CA
 94513**

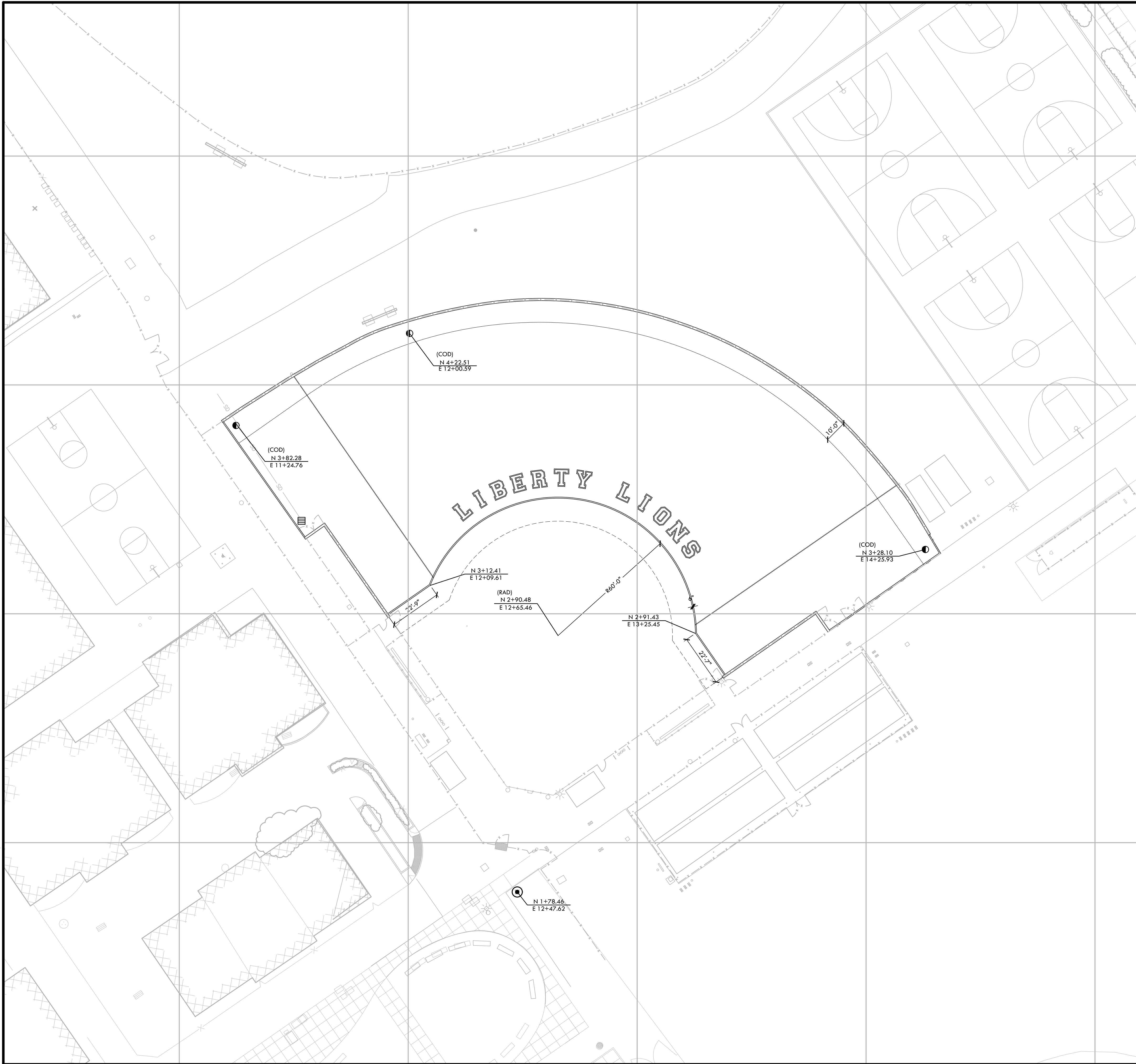
SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
△	ADDENDUM 1	05/13/22
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SHEET NO. L-L6.1	



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LAYOUT NOTES

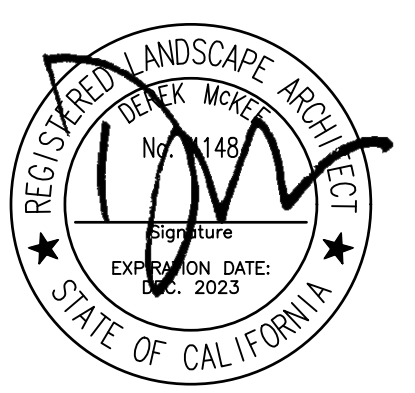
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2. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD AND CHALKED, STRING LINED OR FLAGGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MINOR ADJUSTMENTS MADE TO ACHIEVE OVERALL DESIGN LAYOUT SHALL BE ACCEPTED BY THE OWNER PRIOR TO CONSTRUCTION.
3. LAYOUT IS BASED ON THE POINT(S) OF BEGINNING (P.O.B.) AND BASELINE(S) OR GRID SYSTEM AS SHOWN. DIMENSIONS SHOWN ARE ROUNDED TO THE NEAREST INCH.
4. ALL LAYOUT AND GRADES SHALL BE COMPLETED BY A LICENSED SURVEYOR.

LAYOUT LEGEND

SYM.	DESCRIPTION
	POINT OF BEGINNING SYMBOL
	CONTROL POINT
	RADIUS POINT / CENTER MARK
	PROPOSED ANGLE BETWEEN ELEMENTS
	ALIGN EDGES OF ELEMENTS
	BASELINE & GRID
	CONTROL LINE
	CENTER LINES
	NORTHING/EASTING LAYOUT COORDINATE CALLOUT
	CENTER OF DRAIN - NEW JUNCTION BOX
	CENTER OF POST
	POINT OF BEGINNING FOR GRID LAYOUT
	RADIUS POINT
	TANGENT POINT



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CONSULTANT

SHEET TITLE
**LAYOUT PLAN
 SOFTBALL FIELD**

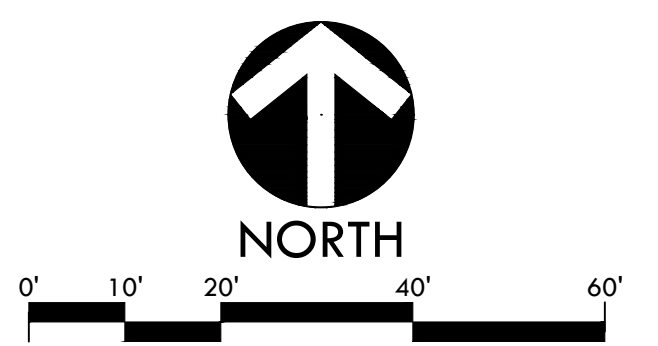
PROJECT NAME
**LIBERTY HIGH SCHOOL
 BASEBALL INFIELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

PROJECT ADDRESS
**850 2ND ST
 BRENTWOOD, CA
 94513**

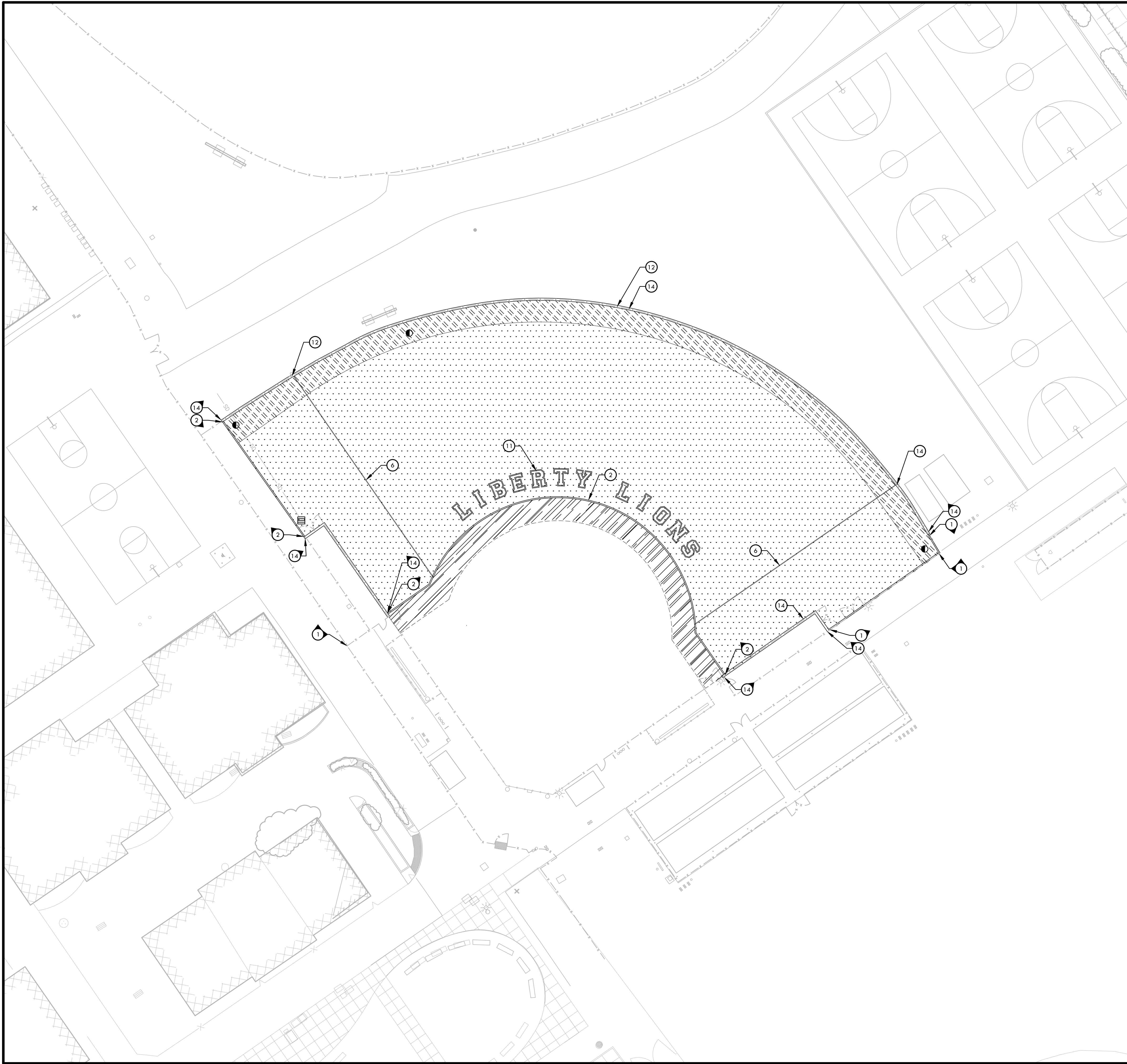
SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
△	ADDENDUM 1	05/13/22
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DATE ISSUED 04/01/2022	SCALE 1"=20'-0"
PROJ. NO. 2111100	
SHEET NO. L-L6.2	



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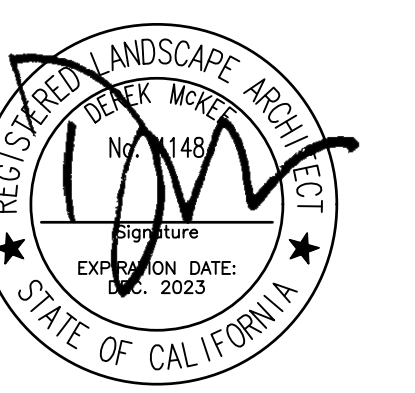
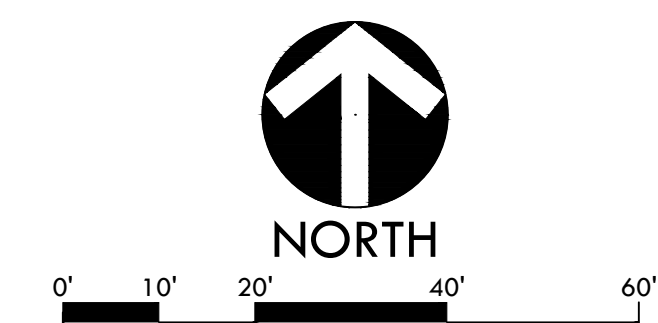


MATERIAL NOTES

1. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS AND REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD DISCREPANCY ARISE AND REDIRECT WORK TO AVOID DELAYS.
2. THE INTERFACE OF ALL PROPOSED IMPROVEMENTS TO EXISTING SITE SHALL CONFORM AND BE SMOOTH AND UNIFORM.
3. ALL REINFORCING AND FORMS SHALL BE SECURED IN PLACE AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING ANY CONCRETE.
4. ASPHALT SHALL NOT BE INSTALLED UNTIL ALL EDGES AND SITE FURNISHING PADS ARE INSTALLED.

MATERIAL LEGEND

SYM	DESCRIPTION	DTL REF
	NATURAL TURF - SOD REFER TO SPECIFICATIONS	
	CLAY - REFER TO SPECIFICATIONS	F D2.1
	2" GREEN SYNTHETIC TURF - REFER TO SPECIFICATIONS	E D2.1
	2" BROWN WARNING TRACK SYNTHETIC TURF - REFER TO SPECIFICATIONS	E D2.1
	2" BROWN SYNTHETIC TURF - REFER TO SPECIFICATIONS	E D2.1
A	ASPHALT PAVING - REFER TO SPECIFICATIONS	I D2.1
C	CONCRETE PAVING - REFER TO SPECIFICATIONS	J D2.1
1	CONCRETE SUB-CURB - SYNTHETIC TURF CONNECTION	C D2.1
2	6" WIDE SYNTHETIC TURF EDGE BAND AT INFIELD FINES	D D2.1
3	BASEBALL PITCHER'S MOUND	B D3.1
4	HOME PLATE AREA - REFER TO SPECIFICATIONS	A,C,E D3.1
5	BASES - REFER TO SPECIFICATIONS BASE PAD LOCATION WITH SINGLE ANCHOR BASE SLEEVE	D,F D3.1
6	FOUL LINE STRIPING	
7	RUNNER'S LANE STRIPING	A D3.1
8	COACHES' BOX STRIPING	A D3.1
9	ON DECK CIRCLE STRIPING	A D3.1
10	BASEBALL INFIELD LOGO	D D3.2
11	SOFTBALL OUTFIELD LOGO	D D3.2
12	OUTFIELD DISTANCE MARKER	G D3.1
13	6" WIDE SYNTHETIC TURF EDGE BAND AT NATURAL TURF	H D3.1
14	12" WIDE SYNTHETIC TURF EDGE BAND AT EXISTING FENCE	M D2.1



STAMP
CONSULTANT

SHEET TITLE
**MATERIALS AND
DETAIL REFERENCE
PLAN
SOFTBALL FIELD**

PROJECT NAME
**LIBERTY HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

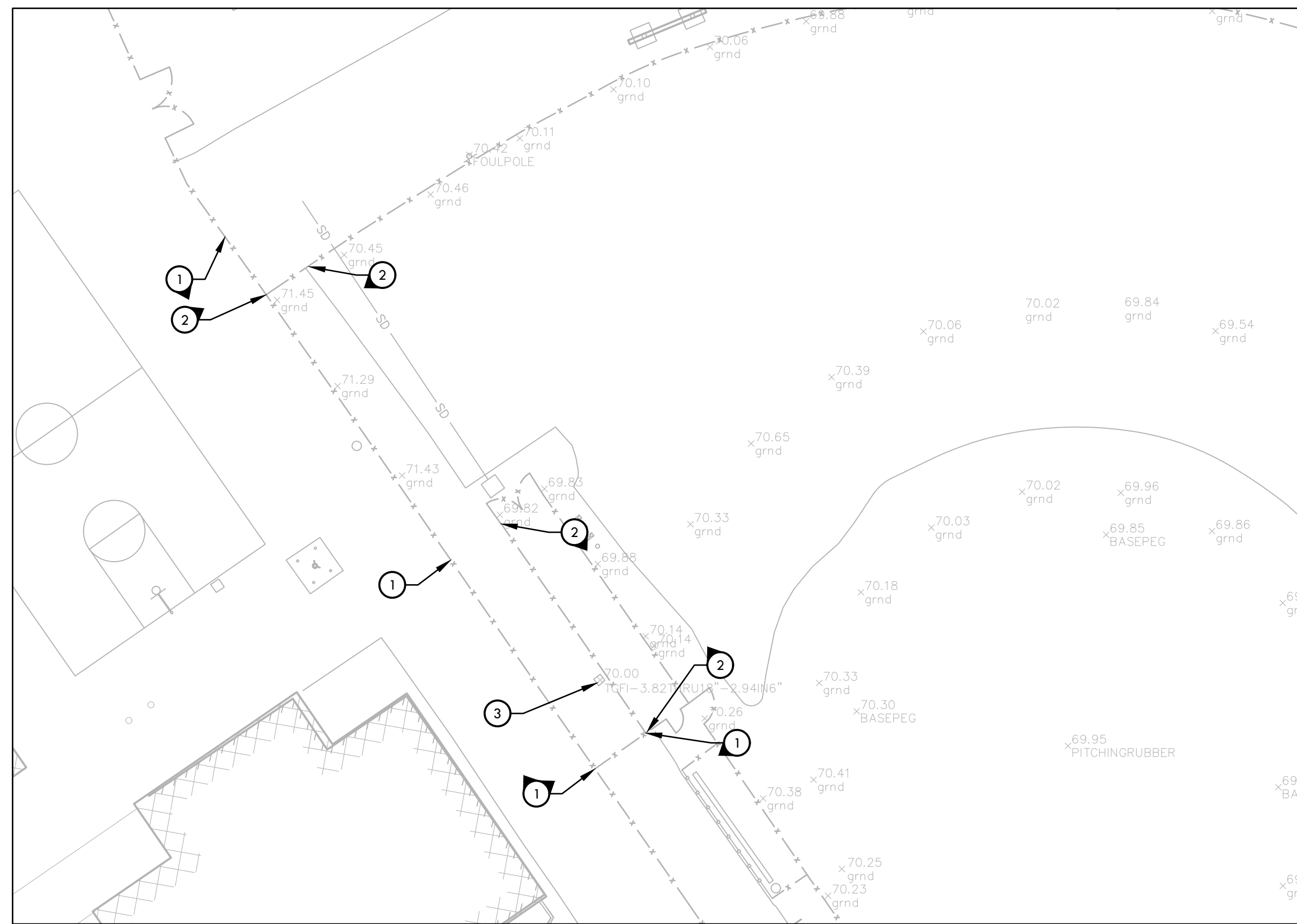
PROJECT ADDRESS
**850 2ND ST
BRENTWOOD, CA
94513**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

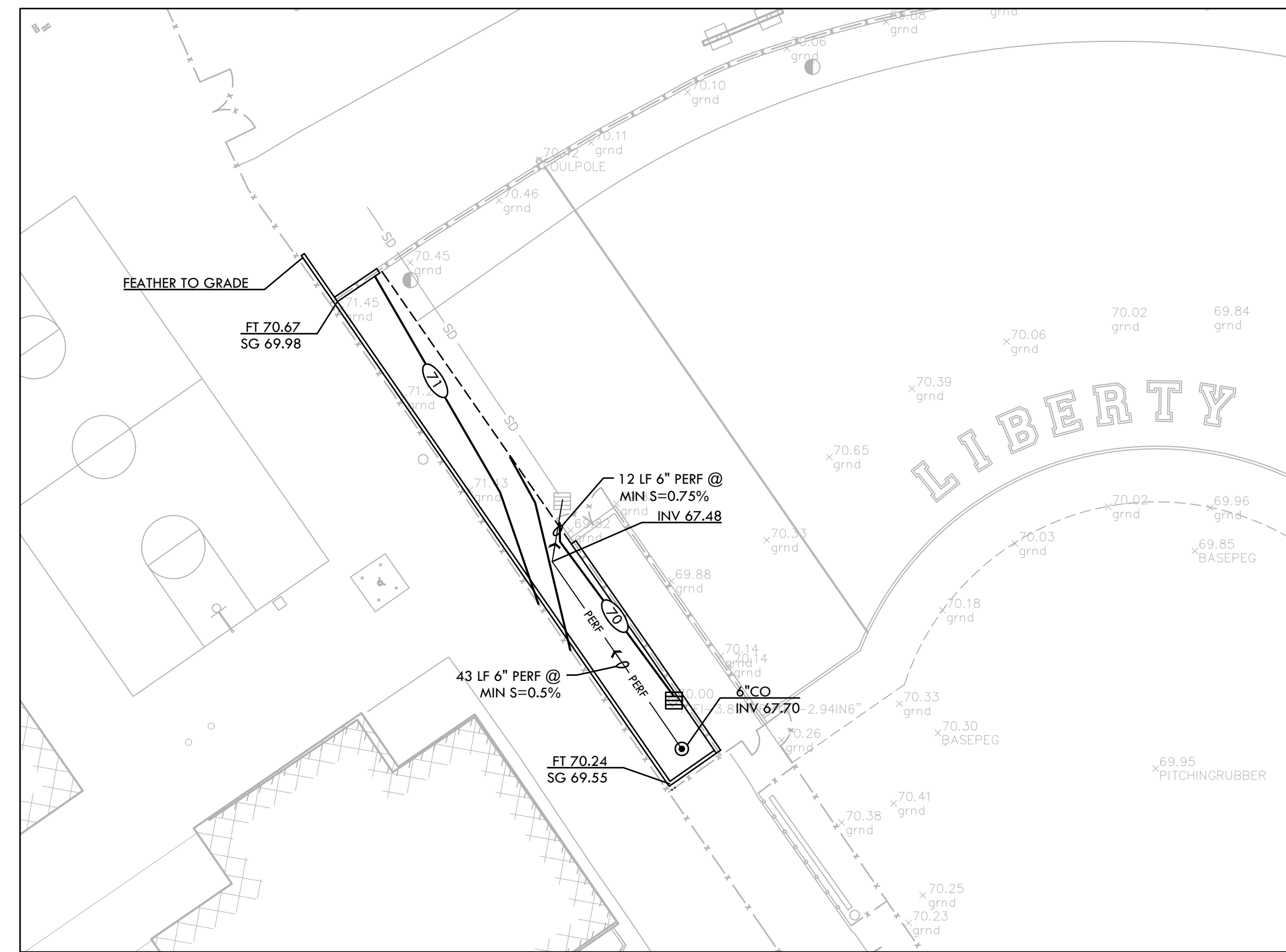
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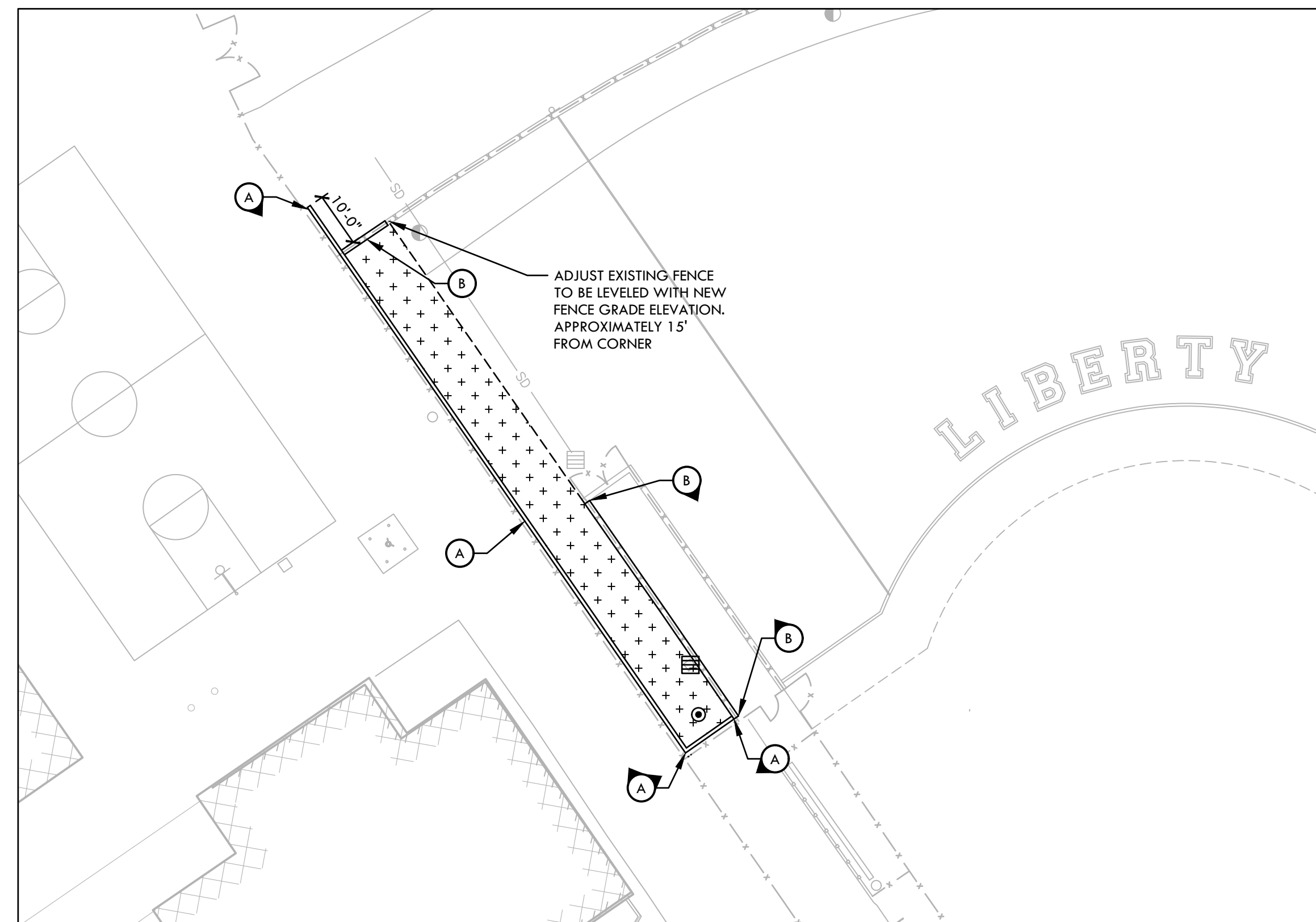
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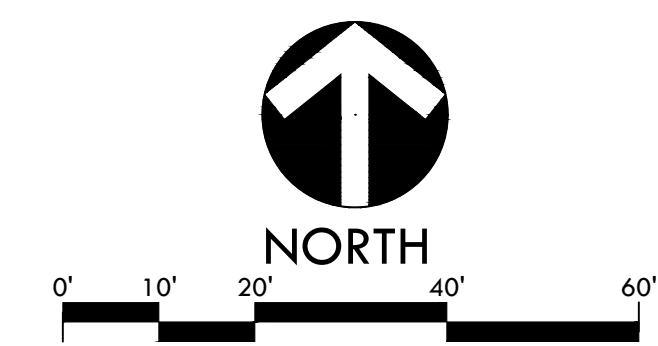
DEMOLITION LEGEND	
①	EXISTING CURB AND FENCE TO REMAIN AND BE PROTECTED. TEMPORARY REMOVE FENCING FOR INSTALLATION OF NEW CURB. REINSTALL FENCING UPON COMPLETION OF PROJECT, ADJUST FENCE FABRIC AND BOTTOM RAIL TO NEW ELEVATION HEIGHT.
②	EXISTING FENCE TO REMAIN AND BE PROTECTED. EXISTING FENCE TO BE TEMPORARILY REMOVED FOR THE INSTALLATION OF NEW EDGE BAND. CONTRACTOR TO CHIP DOWN TOP OF EXISTING FENCE FOOTING TO ACCOMMODATE NEW CONCRETE EDGE BAND.
③	EXISTING AREA DRAIN TO REMAIN. CONTRACTOR TO CONVERT AREA DRAIN TO JUNCTION BOX, REFER TO DETAIL G, SHEET D1.1.



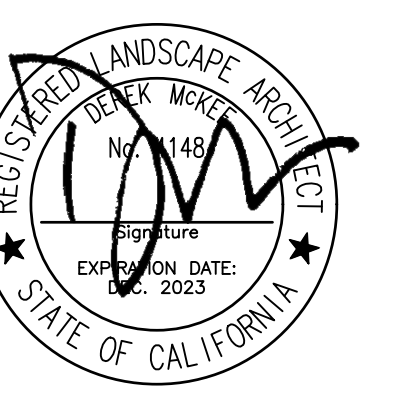
GRADING LEGEND		DRAINAGE LEGEND		
SYM	DESCRIPTION	SYM	DESCRIPTION	DTL REF
108	PROPOSED CONTOUR	[Symbol]	CONVERT EXISTING CATCH BASIN TO JUNCTION BOX IN SYNTHETIC TURF	G D1.1
FT 32.00	PROPOSED ELEVATION OF TOP OF SYNTHETIC TURF INFILL	[Symbol]	CLEANOUT IN SYNTHETIC TURF	D D1.1
SG 32.00	PROPOSED FINISH SUBGRADE ELEVATION	PERF	PERFORATED SUBDRAIN LINE	H D1.1



MATERIAL LEGEND		
SYM	DESCRIPTION	DTL REF
[Symbol]	2" BROWN SYNTHETIC TURF - REFER TO SPECIFICATIONS	E D2.1
A	8" WIDE TALL CURB	B D3.2
B	12" WIDE SYNTHETIC TURF EDGE BAND AT EXISTING FENCE	H D2.1



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SHEET TITLE

**BID ALTERNATE
PLAN
SOFTBALL FIELD**

PROJECT NAME

**LIBERTY HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

PROJECT ADDRESS

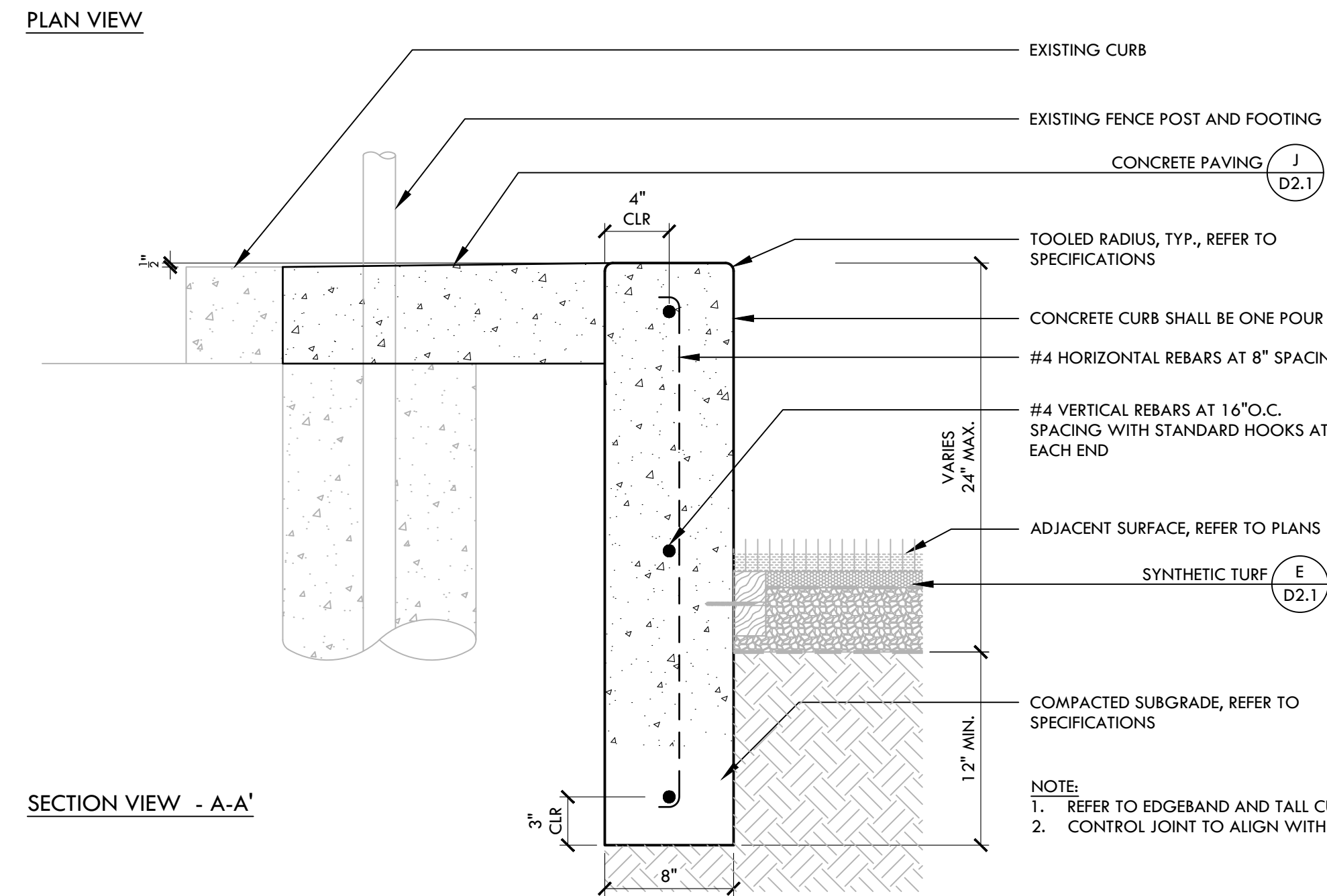
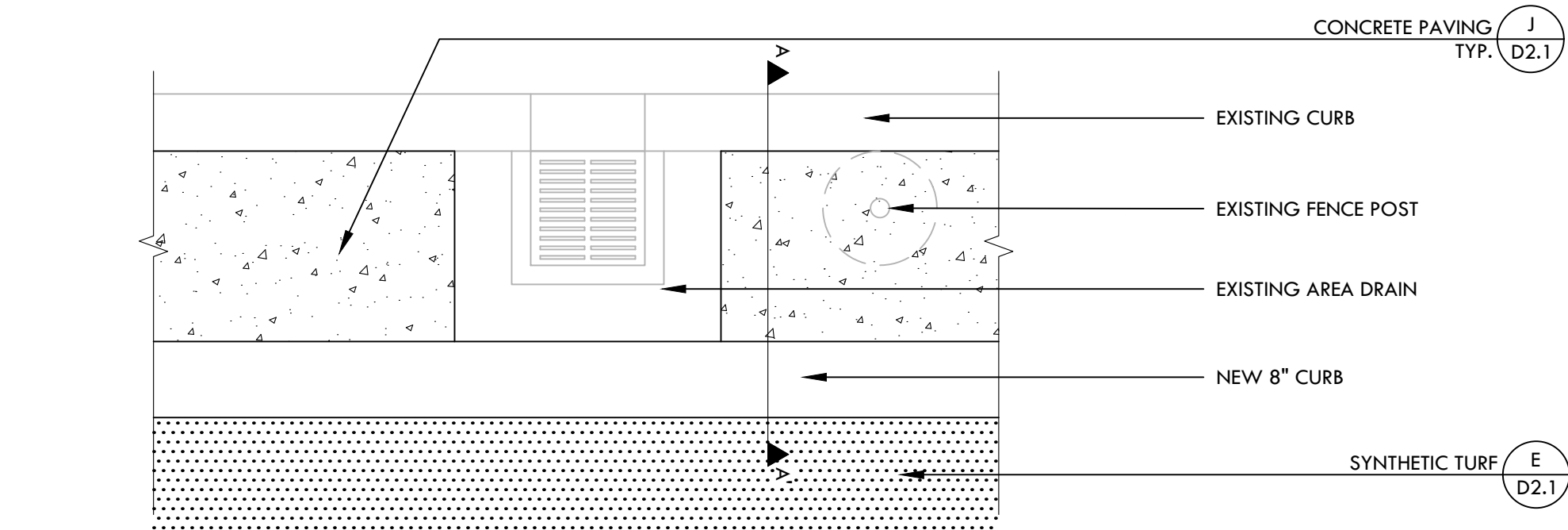
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94513**

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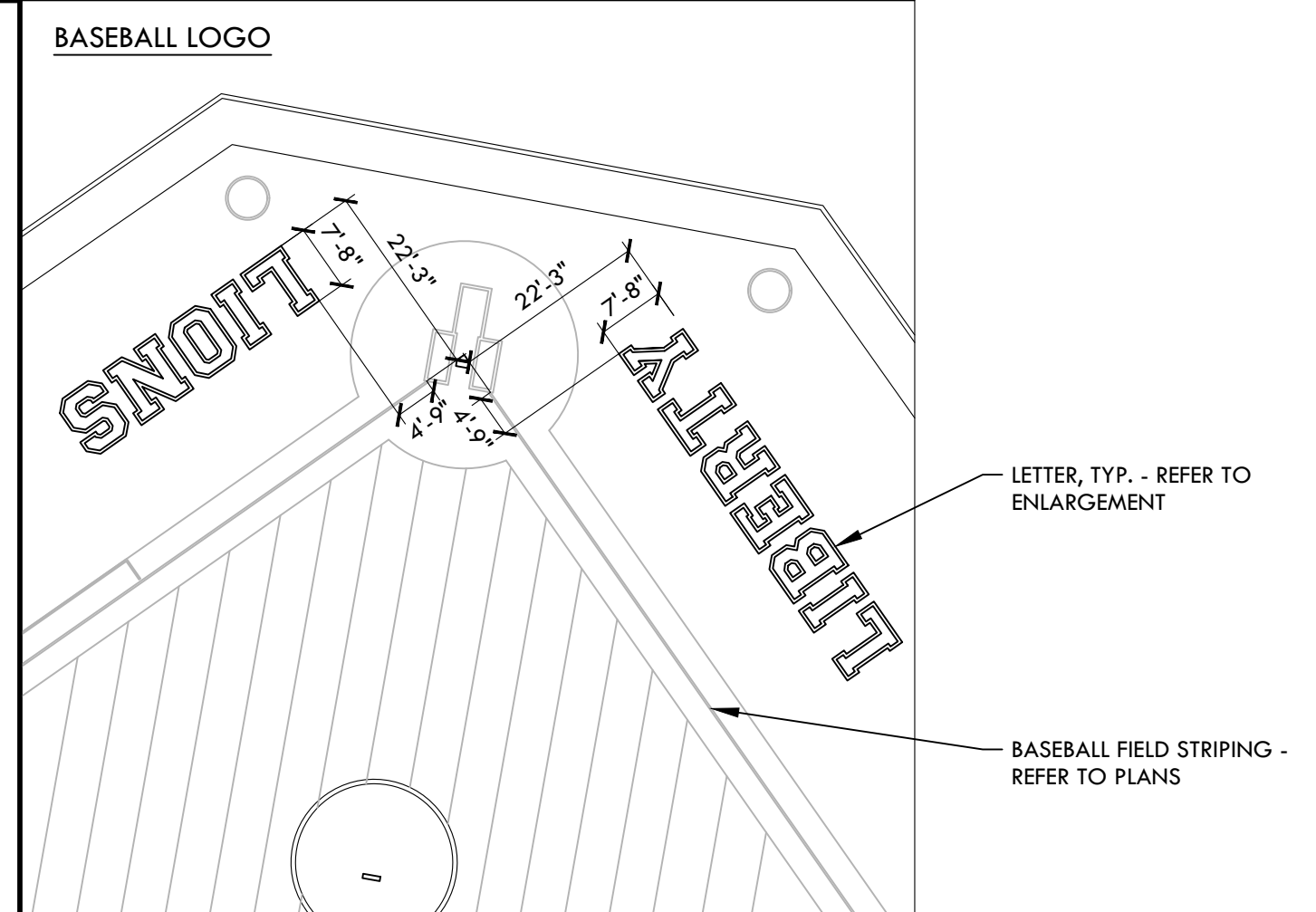
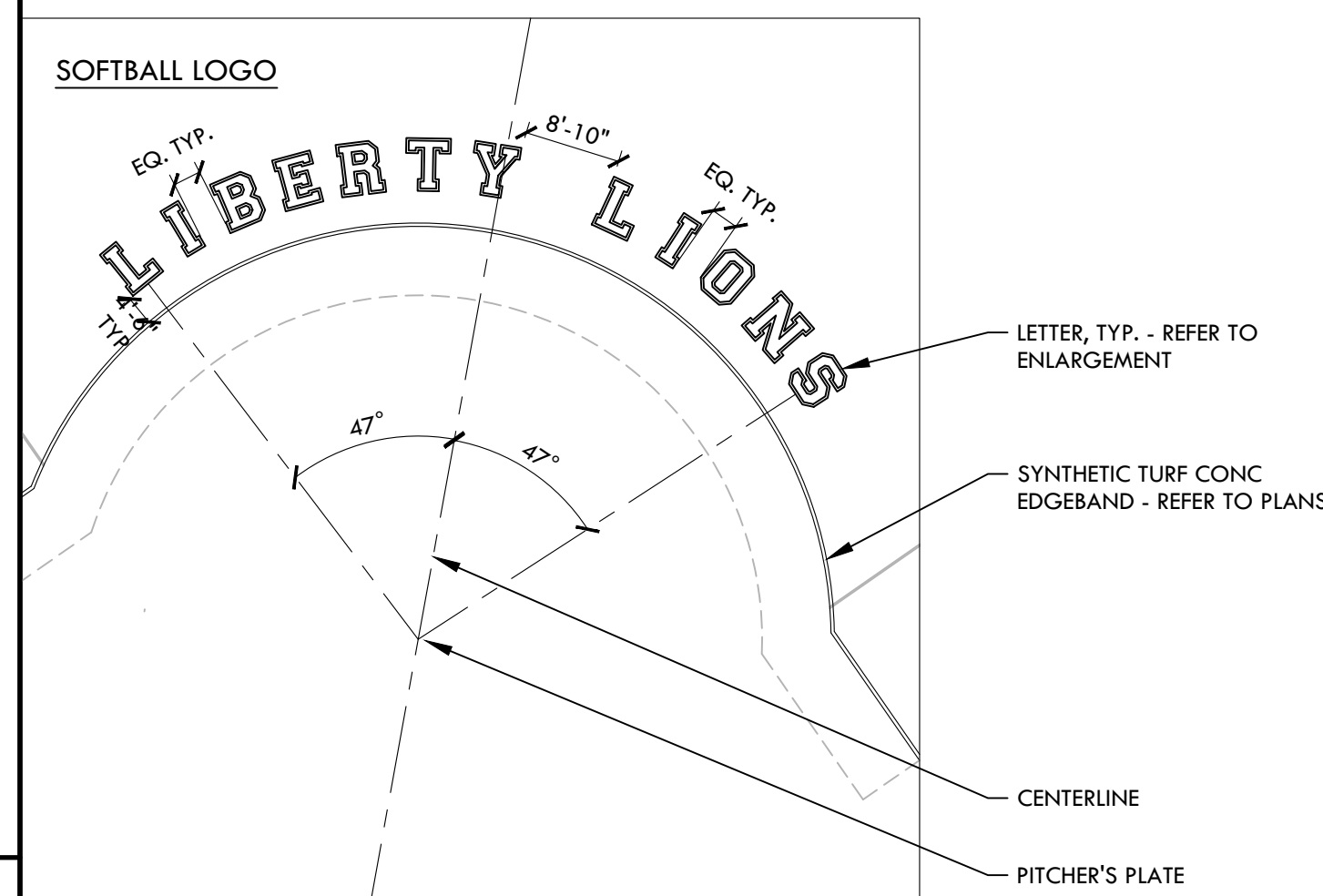
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SHEET NO. L-L9.1	

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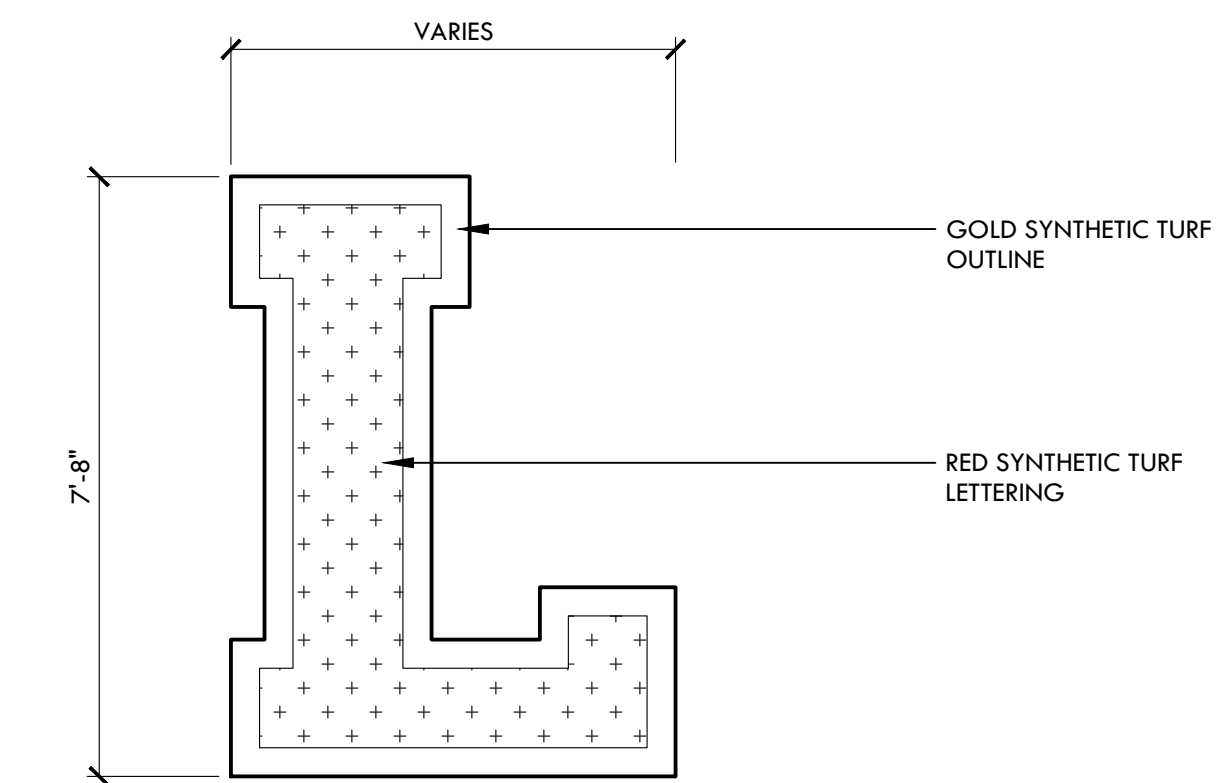


B 8" WIDE TALL CURB

NTS

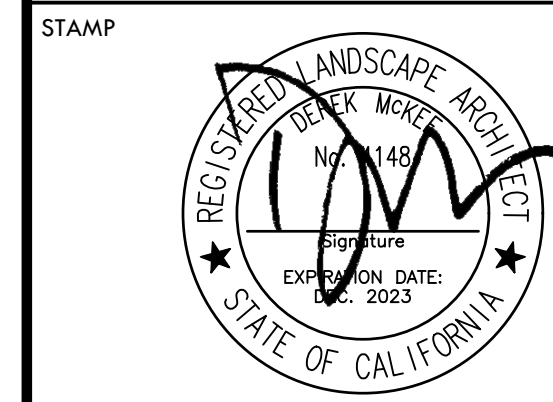


A LIBERTY HS LOGOS



NOTES:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND ACCEPTANCE.

NTS



CONSULTANT

SHEET TITLE

**ATHLETIC
DETAILS**

PROJECT NAME

**LIBERTY HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

PROJECT ADDRESS

**850 2ND ST
BRENTWOOD, CA
94513**

SUBMITTAL	DATE
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PROJ. NO. 2111100	

SHEET NO.

D3.2

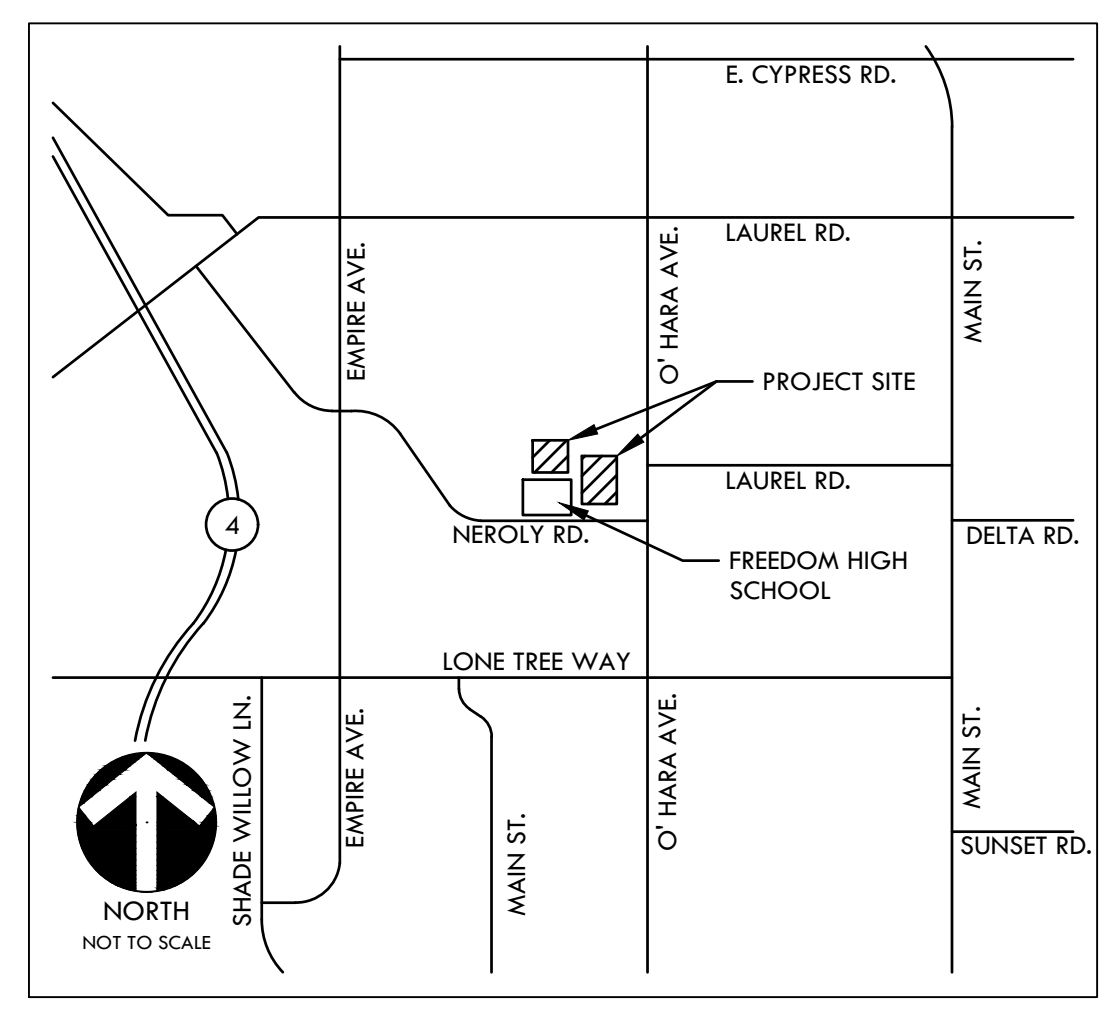


ATHLETIC DETAILS

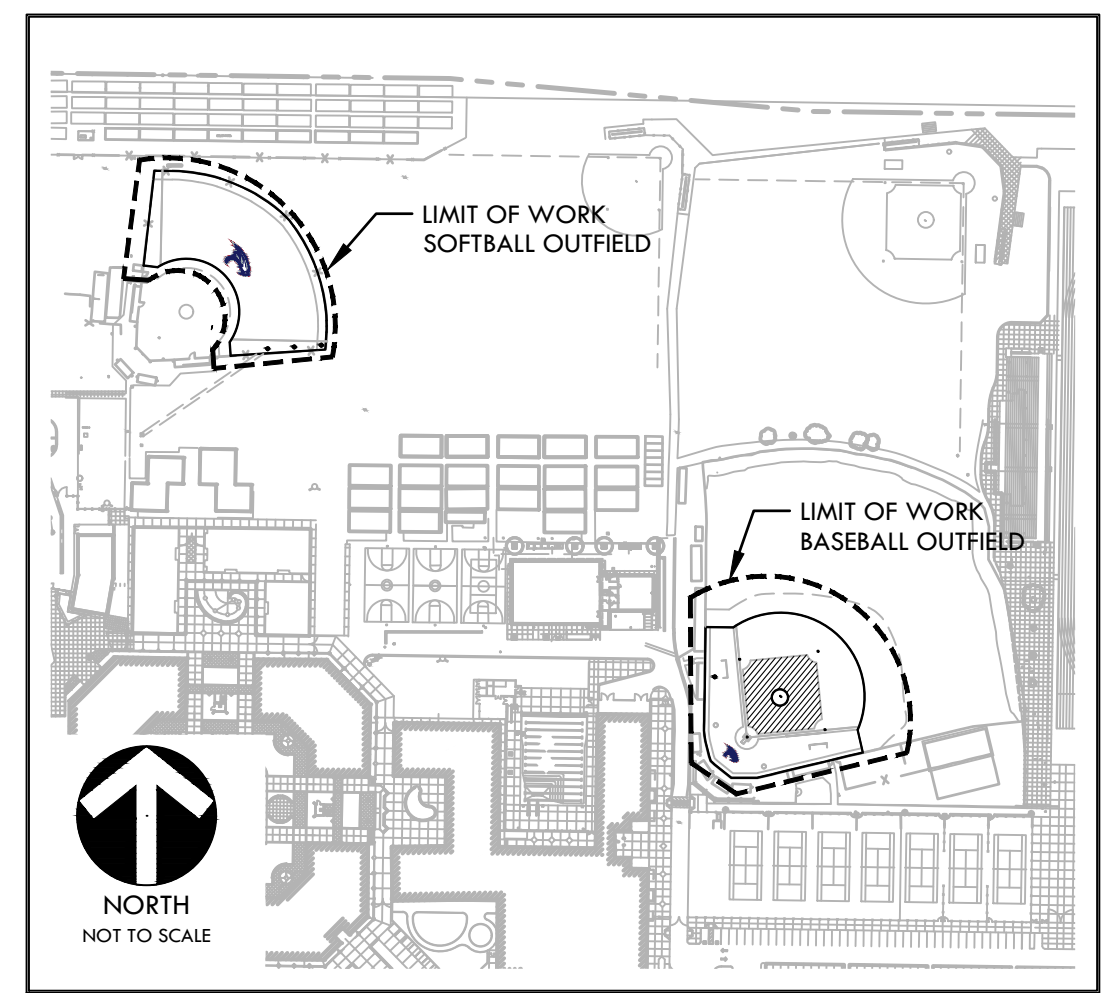
CONSTRUCTION DRAWINGS FOR FREEDOM HIGH SCHOOL BASEBALL INFIELD & SOFTBALL OUTFIELD IMPROVEMENTS

1050 NEROLY ROAD
OAKLEY, CA 94561
LIBERTY UNION HIGH SCHOOL DISTRICT
VERDE DESIGN, INC. PROJECT NO. 2111100

PROJECT MAPS



VICINITY MAP

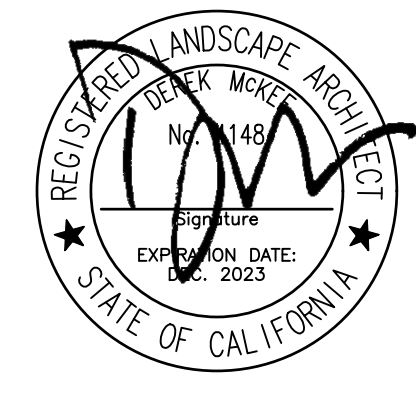


SITE MAP

PREPARED BY

**LANDSCAPE ARCHITECTURE
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2455 The Alameda
Santa Clara, CA 95050
tel: 408.985.7200
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SCOPE OF WORK

BASE BID
SCOPE OF WORK SHALL INCLUDE THE DEMOLITION OF EXISTING INFIELD FINES, NATURAL TURF, AND IRRIGATION. CONTRACTOR SHALL COMPLETE EARTHWORK AND GRADING OPERATIONS, THE INSTALLATION OF NEW CONCRETE WORK, DRAINAGE SYSTEM IMPROVEMENTS, FENCING, EDGE BANDS, ATHLETIC FURNISHINGS, SYNTHETIC TURF, INFIELD FINES, IRRIGATION, AND LANDSCAPING.

- BID ALTERNATE**
- BID ALTERNATE A - SYNTHETIC TURF MAINTENANCE CONTRACT, REFER TO SPECIFICATIONS.
 - BID ALTERNATE C - FLAT PANEL DRAINS, REFER TO DRAINAGE PLANS F-L5.1 & F-L5.2.

GENERAL NOTES

- PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPLAIN OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONDITIONS, REQUIRING WORK, WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS.
- NO CONSTRUCTION SHALL COMMENCE WITHOUT THE OFFICIAL NOTICE TO PROCEED FROM THE OWNER.
- THE GENERAL CONTRACTOR & SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING DRAWINGS AND THE OWNER, BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL OF THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH OF UTILITIES, AND REPORT POTENTIAL CONFLICTS TO THE OWNER PRIOR TO EXCAVATING FOR NEW FACILITIES.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES CAUSED BY ITS OPERATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS WITHIN SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THEIR ORIGINAL CONDITION OR BETTER AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- DIMENSIONS AND LOCATIONS OF EXISTING FACILITIES ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, AS WELL AS ADAPTED STANDARDS.
- ALL NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO, THE WRITTEN SPECIFICATIONS AND DETAILS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- THIS DRAWING SET SHALL BE USED IN CONJUNCTION WITH THE CSI FORMAT SPECIFICATIONS PUBLISHED IN BOOK FORM. COMBINED, THEY ARE REFERRED TO AS THE "CONTRACT DOCUMENTS".
- DIMENSIONS ON WORKING DRAWINGS TAKE PRECEDENCE OVER MEASURED ELEMENTS. CONTRACTOR SHALL NOT SCALE DRAWINGS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- ANY ALTERATIONS OF EXISTING FACILITIES TO ACCOMMODATE THE INSTALLATION OF NEW WORK SHALL BE REVIEWED BY THE OWNER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK TO AVOID DISTURBING STUDENTS OR TEACHERS DURING SCHOOL HOURS. ANY DISRUPTION OF THE UTILITIES MUST BE COORDINATED AND APPROVED BY THE OWNER AND INSPECTOR OF RECORD PRIOR TO COMMENCING WORK.
- ALL TEMPORARY WORK SHALL BE CONSIDERED A PART OF THIS CONTRACT AND NO EXTRA CHARGES WILL BE ALLOWED. THIS SHALL INCLUDE MINOR ITEMS OF MATERIAL OR EQUIPMENT NECESSARY TO MEET THE REQUIREMENTS AND INTENT OF THE PROJECT.
- THE PLANS AND SPECIFICATIONS DO NOT UNDERTAKE TO SHOW OR LIST EVERY ITEM TO BE PROVIDED, BUT RATHER TO DEFINE THE REQUIREMENTS FOR A FULL AND WORKING SYSTEM FROM THE STANDPOINT OF THE END USER. FOR THIS REASON, WHEN AN ITEM NOT SHOWN OR LISTED IS CLEARLY NECESSARY FOR PROPER CONTROL/OPERATION OF EQUIPMENT WHICH IS SHOWN OR LISTED, THE CONTRACTOR SHALL PROVIDE AN ITEM WHICH WILL ALLOW THE SYSTEM TO FUNCTION PROPERLY AT NO INCREASE IN PRICE.
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS STEMMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
- THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK AND IS SUBJECT TO REJECTION AND REPLACEMENT. SEE SPECIFICATIONS FOR SUBMITTAL AND SUBSTITUTION REQUIREMENTS.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
- ALL EQUIPMENT SHALL BE FABRICATED FROM FIELD VERIFIED DIMENSIONS AND APPROVED SHOP DRAWINGS. COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
- CONTRACTOR SHALL PERFORM THEIR CONSTRUCTION AND OPERATIONS IN A MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED "BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE CALIFORNIA STORM WATER QUALITY ASSOCIATION, NONPOINT SOURCE POLLUTION CONTROL PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT THEIR PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCING PER CONTRACT DOCUMENTS TO SERVE LIMIT OF WORK AREAS. FENCING MAY BE ADJUSTED DURING CONSTRUCTION BASED ON CONSTRUCTION SEQUENCE OR THE OWNER'S DIRECTION.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED.

CONTACT INFORMATION

ORGANIZATION	NAME	PHONE
OWNER LIBERTY UNION HIGH SCHOOL DISTRICT	PAUL MELLONI	(925) 634-3812
LANDSCAPE ARCHITECT VERDE DESIGN INC.	DEREK MCKEE JERRY JIANG NIRMALA NAVARRO	(408) 850-3410 (408) 850-3409 (408) 850-3474

APPLICABLE CODES

- 2019 CBC CHAPTER 35; PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS. WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT MAY STILL BE USED. APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE THE STANDARD IS REFERENCED, NOT THE ENTIRE STANDARD.
 - 2019 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
 - 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
 - (2018 INTERNATIONAL BUILDING CODE VOLUMES 1-2)
 - 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
 - (2017 NATIONAL ELECTRICAL CODE)
 - 2019 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R.
 - (2018 UNIFORM MECHANICAL CODE)
 - 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
 - (2018 UNIFORM PLUMBING CODE)
 - 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
 - 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
 - (2018 INTERNATIONAL FIRE CODE AND 2016 CALIFORNIA AMENDMENTS)
 - 2019 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R.
 - (2018 INTERNATIONAL EXISTING BUILDING CODE)
 - 2019 CALIFORNIA "GREEN" BUILDING REQUIREMENTS OR CAL GREEN, PART 11, TITLE 24 C.C.R.
 - 2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
 - 2019 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
- LIST OF FEDERAL CODES AND STANDARDS (IF APPLICABLE)
 - AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III
 - FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) 28 CFR 35.151(c)
 - OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 35)
 - FOR TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)
 - 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN 28 CFR 36.406
- NOTE: TITLE II APPLIES TO PROJECTS FUNDED AND/OR USED BY STATE AND LOCAL GOVERNMENT SERVICES. TITLE III COVERS PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. DEPENDING ON THE USE AND FUNDING, BOTH TITLE MAY APPLY TO THE PROJECT.

NFPA 13	AUTOMATIC SPRINKLER SYSTEMS	2019 EDITION
NFPA 14	STANDPIPE SYSTEMS	2019 EDITION
NFPA 17	DRY CHEMICAL EXTINGUISHING SYSTEMS	2017 EDITION
NFPA 17A	WET CHEMICAL EXTINGUISHING SYSTEMS	2017 EDITION
NFPA 20	STATIONARY FIRE PUMPS	2019 EDITION
NFPA 24	PRIVATE FIRE SERVICE MAINS	2019 EDITION
NFPA 72	NATIONAL FIRE ALARM AND SIGNALING CODE (CALIFORNIA AMENDED) (NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES")	2019 EDITION
NFPA 253	CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS	2019 EDITION
NFPA 2001	ALCENT AGENT FIRE EXTINGUISHING SYSTEMS	2018 EDITION
ASME 17.1	ELEVATOR STANDARD	2016 EDITION
- REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2019 CALIFORNIA BUILDING CODE (FOR SFM) REFERENCED STANDARDS CHAPTER 35
ADA STANDARD FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- ALL EXISTING FIRE EXTINGUISHING SYSTEMS ARE IN COMPLIANCE WITH UL 300, CBC 904.11, CFC 904.11.

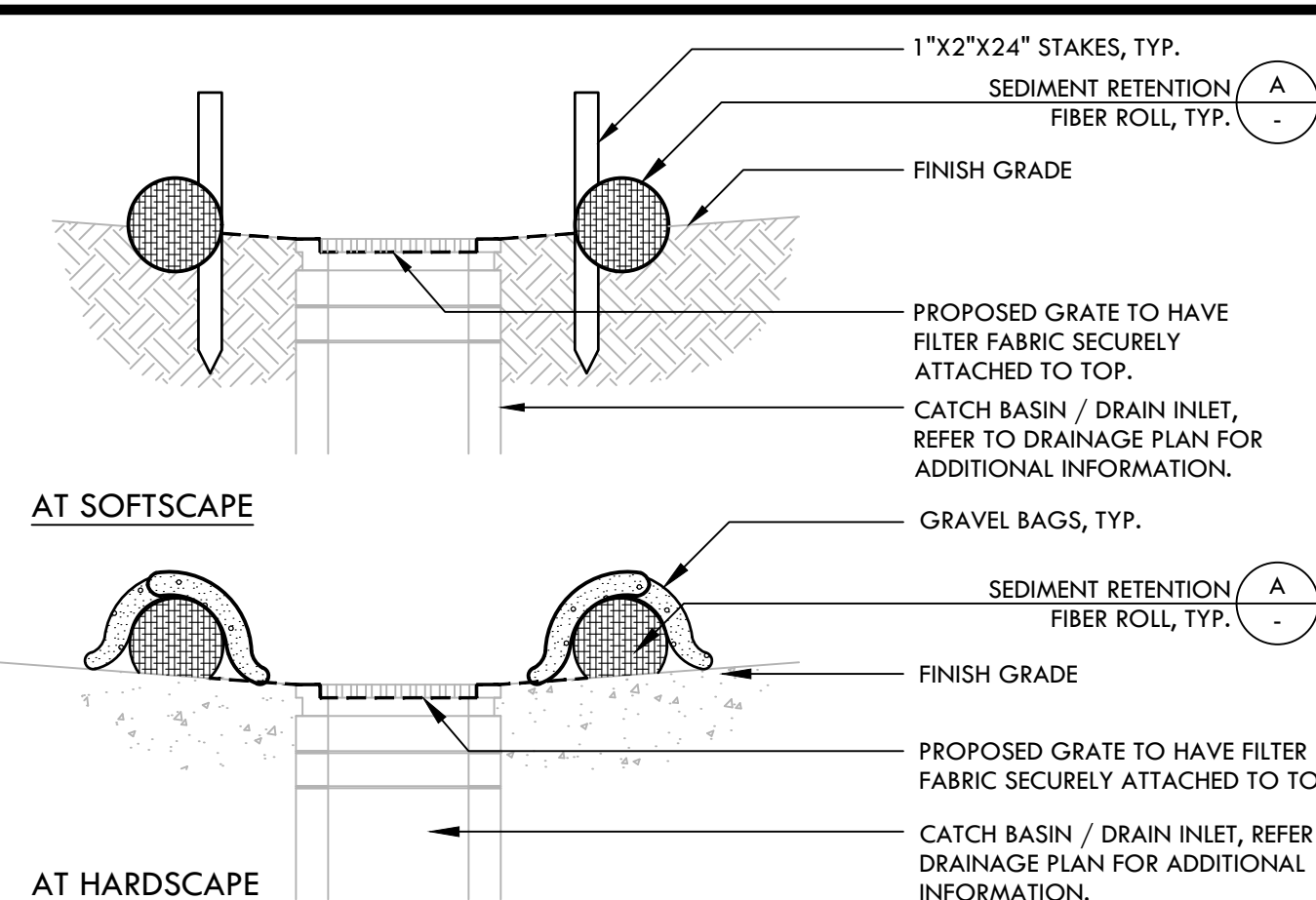
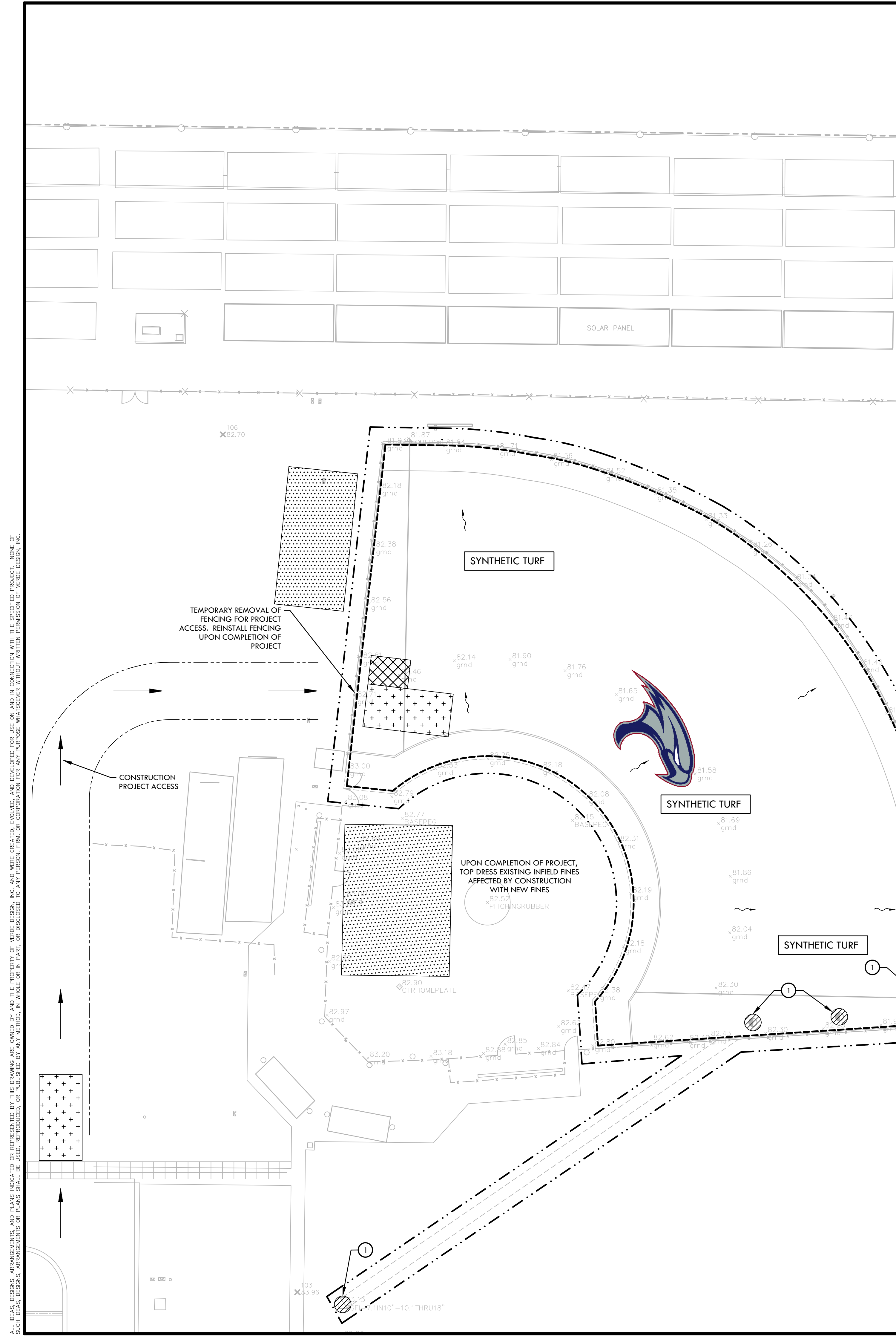
SHEET INDEX (28 Sheets)

SHEET NO.	SHEET DESCRIPTION
C0.0	COVER SHEET
F-10.1	OVERALL SITE PLAN
F-10.2	PROJECT SITE ACCESSIBILITY PLAN
F-10.3	EXISTING SITE CONDITIONS REVIEW
F-10.4	EXISTING SITE CONDITIONS REVIEW
F-11.1	EXISTING CONDITIONS AND SURVEY PLAN - BASEBALL FIELD
FL1.2	EXISTING CONDITIONS AND SURVEY PLAN - SOFTBALL FIELD
F-12.1	EROSION AND SEDIMENT CONTROL PLAN - BASEBALL FIELD
F-12.2	EROSION AND SEDIMENT CONTROL PLAN - SOFTBALL FIELD
F-13.1	DEMOLITION PLAN - BASEBALL FIELD
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F-18.1	IRRIGATION PLAN - BASEBALL FIELD
F-18.2	IRRIGATION PLAN - SOFTBALL FIELD
D1.1	DRAINAGE AND UTILITY DETAILS
D2.1	CONSTRUCTION DETAILS
D3.1	ATHLETIC DETAILS
D3.2	ATHLETIC DETAILS
D4.1	IRRIGATION DETAILS

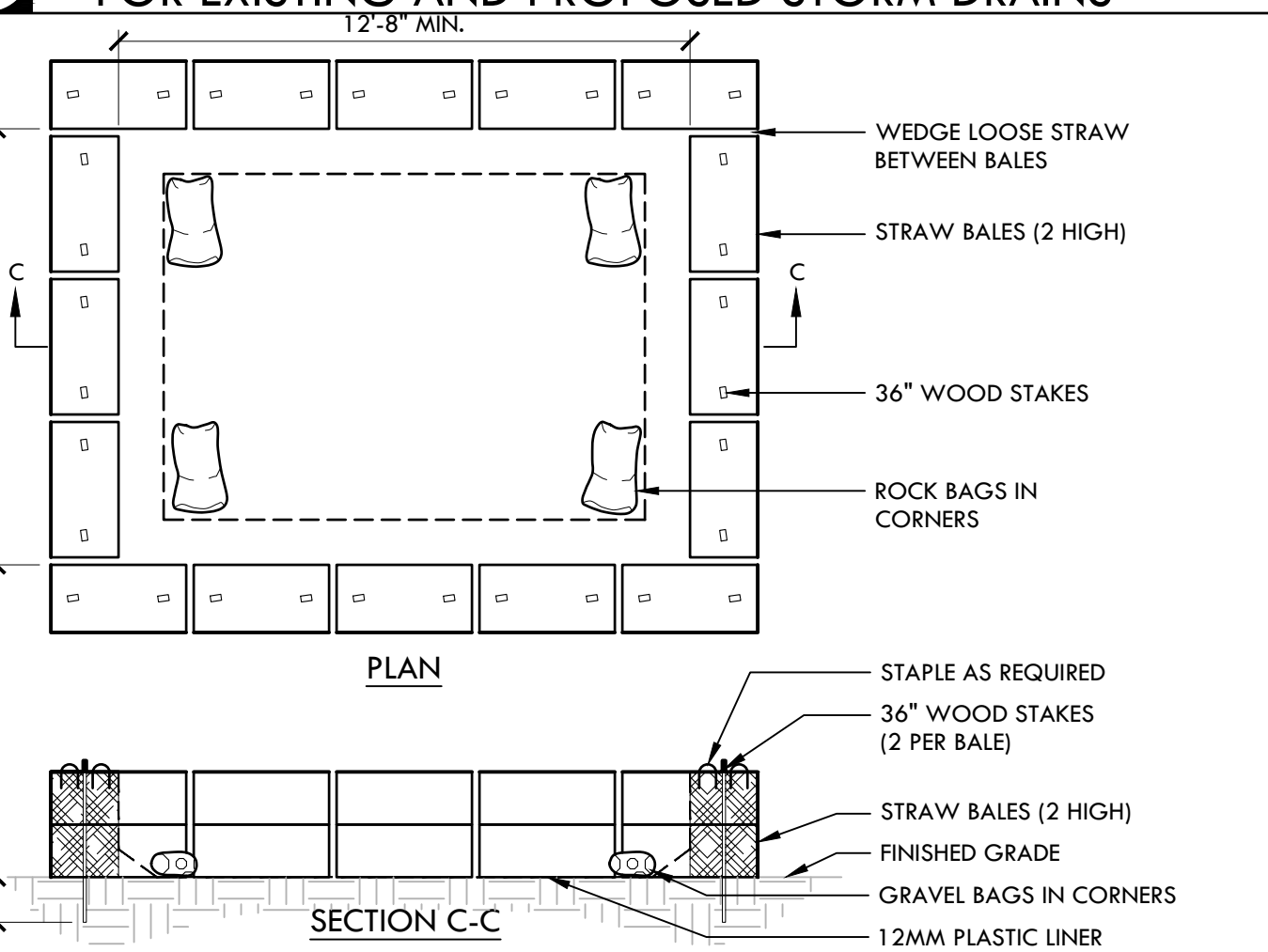
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COVER SHEET

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C STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS NTS



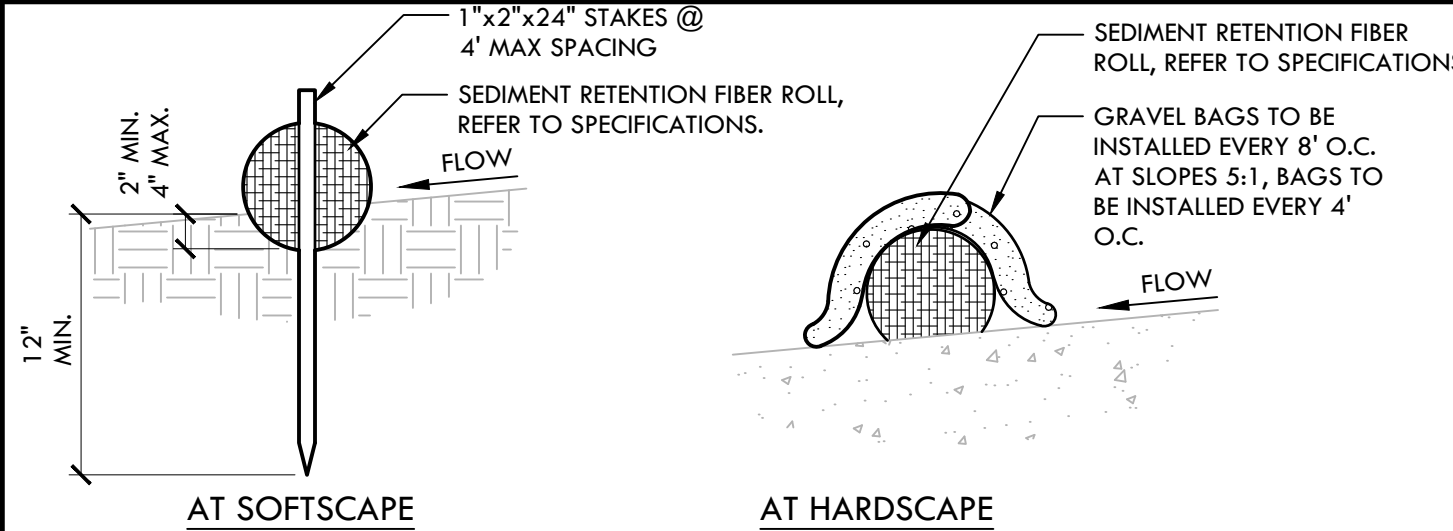
D CONSTRUCTION CONCRETE WASHOUT FACILITY NTS

EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY DISTRICT'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

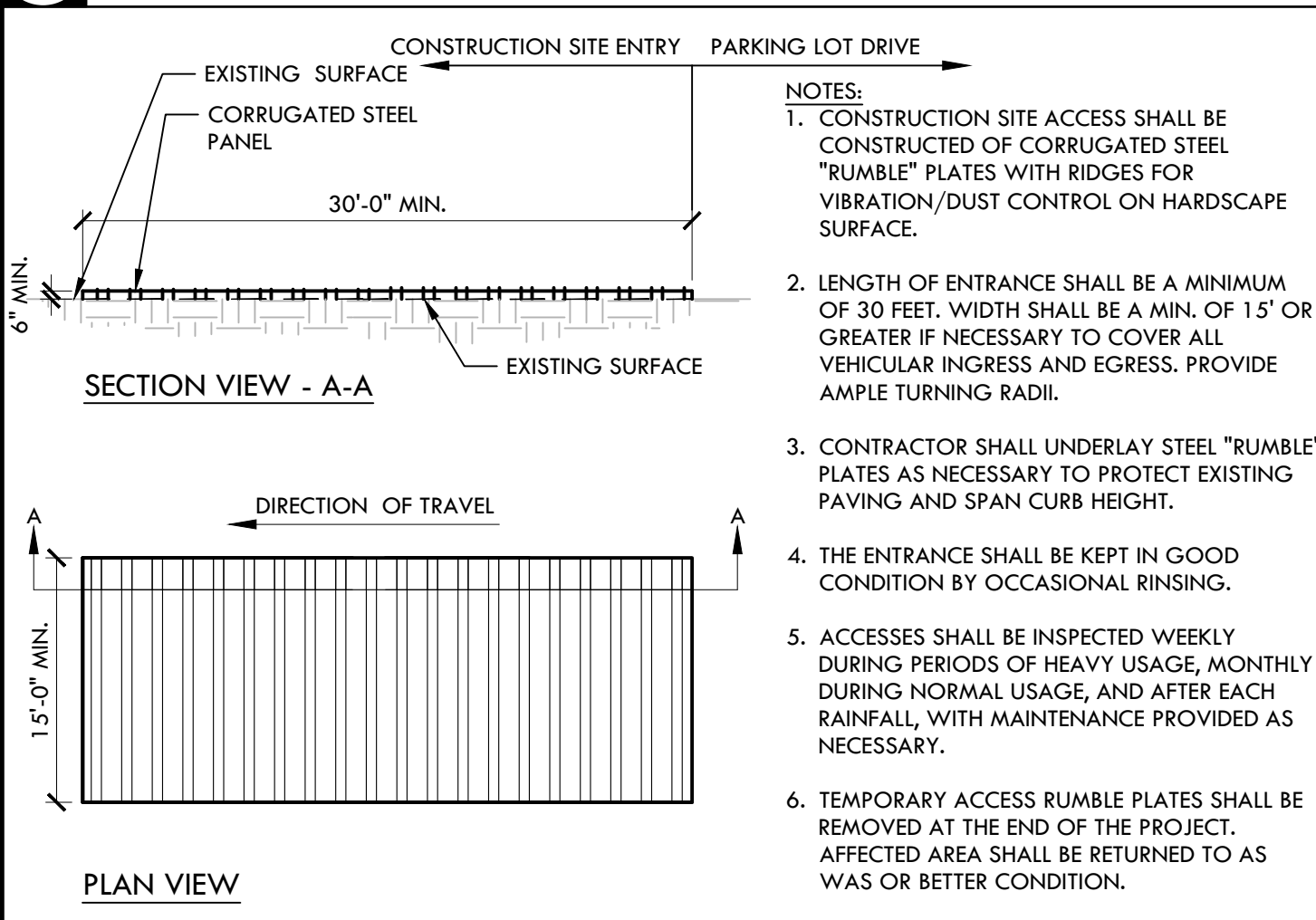
EROSION AND SEDIMENT CONTROL LEGEND

SYM	DESCRIPTION	DTL REF
	STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS	C
	LIMIT OF WORK	
	SEDIMENT RETENTION FILTER ROLL	A B
	CONSTRUCTION CONCRETE WASHOUT FACILITY	D
	CONSTRUCTION STAGING AREA	
	RUMBLE PLATE CONSTRUCTION ENTRY	B
	DIRECTION OF SURFACE FLOW	



- NOTES:
1. INSTALL SEDIMENT RETENTION FIBER ROLLS (FIBER ROLLS / WATTLES) AS LOCATED ON PLANS AND AS REQUIRED PER THE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE.
 2. FIBER ROLLS SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS FLOW PATH OF POTENTIAL RUN-OFF AND RUN-IN.
 3. PREPARE GRADES REMOVING SURFACE DEVIATIONS, LARGE STONES OR DEBRIS THAT WILL INHIBIT CONTINUOUS CONTACT OF THE FIBER ROLL WITH THE GRADE.
 4. PRIOR TO FIBER ROLL INSTALLATION EXCAVATE A CONCAVE TRENCH 2" MIN., 4" MAX. DEEP ALONG THE PROPOSED FIBER ROLL LOCATION.
 5. INSTALL FIBER ROLLS WITH CONTINUOUS CONTACT OF THE BOTTOM OF THE EXCAVATED TRENCH.
 6. STAKE ROLL ON BOTH SIDES 2' FROM OF ENDS AND AT 4' MAXIMUM SPACING WITH 1"x2"x24" STAKES. DRIVE STAKES IN ON ALTERNATING SIDES OF THE ROLL AND OVERLAP ABUTTING ROLL ENDS 12" MIN.
 7. BACKFILLED BOTH SIDES TO WATTLE AND TAMP SOIL TO FIRM AND STABLE.
 8. CONTRACTOR SHALL MAKE WEEKLY INSPECTIONS OR AS INDICATED IN STORMWATER POLLUTION PREVENTION PLAN, OR THE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE.

A SEDIMENT RETENTION FIBER ROLL NTS



B RUMBLE PLATE CONSTRUCTION ENTRY NTS

SHEET TITLE
**EROSION AND SEDIMENT CONTROL PLAN
SOFTBALL FIELD**

PROJECT NAME
**FREEDOM HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

PROJECT ADDRESS
**1050 NEROLY ROAD
OAKLEY, CA
94561**

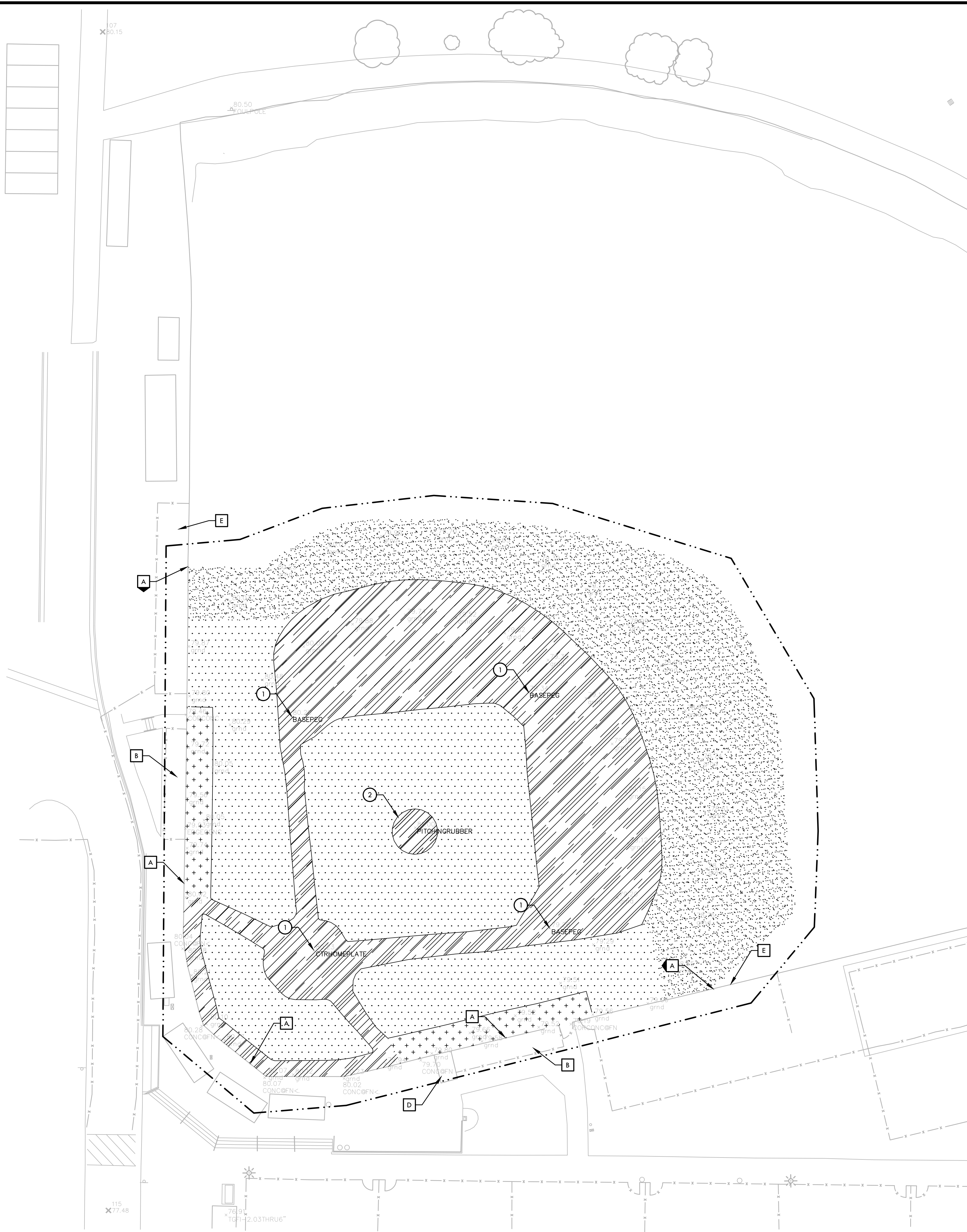
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SHEET NO. F-L2.2	

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 PLOT DATE: 05-13-22 PLOTTED BY: station81



DEMOLITION NOTES

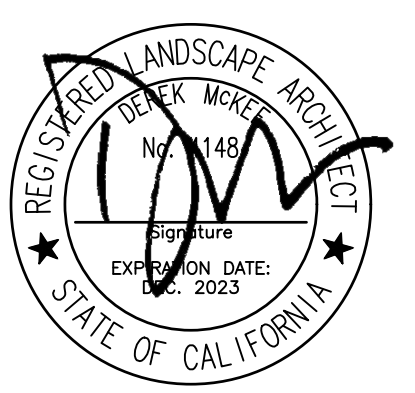
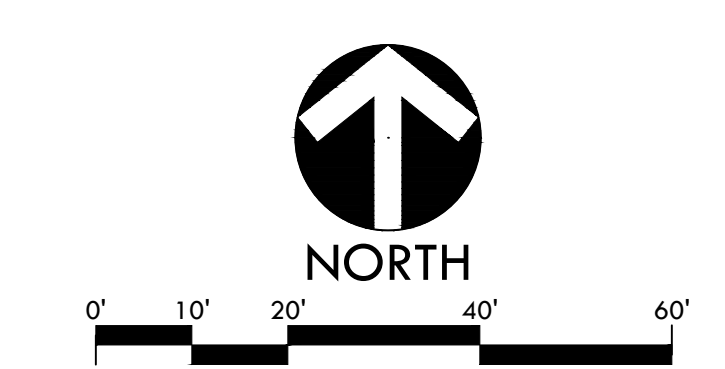
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3. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID SUBMITTAL TO DETERMINE THE EXACT EXTENT AND DEPTH OF SITE DEMOLITION REQUIRED AND VERIFY COMPLIANCE WITH DRAWINGS. THE OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
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6. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE AND SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES AS NECESSARY AND SHALL BE MINIMUM 6 FEET HIGH WITH A TOP AND BOTTOM RAIL WITH KNUCKLED TOP AND BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). FENCE SHALL INCLUDE FULL HEIGHT GREEN SHADE CLOTH COVERING. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "BLAZE ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRIP LINE OR PERIMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
8. DEMOLITION SHALL INCLUDE THE REMOVAL OF ITEM AND ANY FOUNDATION OR STRUCTURAL SUPPORT RELATED TO ITEM FOR PLANT MATERIAL THIS SHALL INCLUDE STUMPS AND ROOTS OVER 2 INCHES IN DIAMETER. DISPOSAL SHALL BE OFF-SITE IN A LEGAL MANNER ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
9. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING AND OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

SYM	DESCRIPTION
- - - - -	LIMIT OF WORK
.....	EXISTING SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. EXISTING TOP SOIL SHALL BE REMOVED FROM SITE. REFER TO SPECIFICATIONS FOR INFORMATION. REMOVE EXCESS SOIL FROM SITE.
	EXISTING INFIL FINES (APPROXIMATE DEPTH OF 4") TO BE REMOVED AND REUSED FOR BASE LAYERS OF NEW INFIL FINES AREAS. REFER TO DETAIL F, SHEET D2.1. LEFT OVER INFIL FINES TO BE DISPOSED OF.
+++++	EXISTING SYNTHETIC TURF, INCLUDING INFIL MATERIAL, AND CARPET TO BE REMOVED. CONTRACTOR SHALL DISPOSE OF MATERIAL IN A LEGAL MANNER. EXISTING INFIL SHALL BE REMOVED FROM SITE AND MAY NOT BE REUSED ON THE NEW SYNTHETIC TURF INSTALLATION. SURFACE VEGETATION UNDERNEATH SYNTHETIC TURF TO BE REMOVED PER SPECIFICATIONS.
.....	EXISTING SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. EXISTING TOPSOIL TO REMAIN. REFER TO SPECIFICATIONS FOR INFORMATION.

- ITEMS TO BE DEMOLISHED AND/OR REMOVED**
- 1 EXISTING BASE/PLATE AND PEG TO BE REMOVED.
 - 2 EXISTING PITCHER'S MOUND INCLUDING PITCHER'S PLATE AND BASE TO BE REMOVED.

- ITEMS TO BE PROTECTED OR RELOCATED**
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 - E EXISTING BULLPEN TO REMAIN AND BE PROTECTED.
 - F EXISTING SCOREBOARD TO REMAIN AND BE PROTECTED.



STAMP
 CONSULTANT

SHEET TITLE
**DEMOLITION
 PLAN
 BASEBALL FIELD**

PROJECT NAME
**FREEDOM HIGH SCHOOL
 BASEBALL INFIL &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

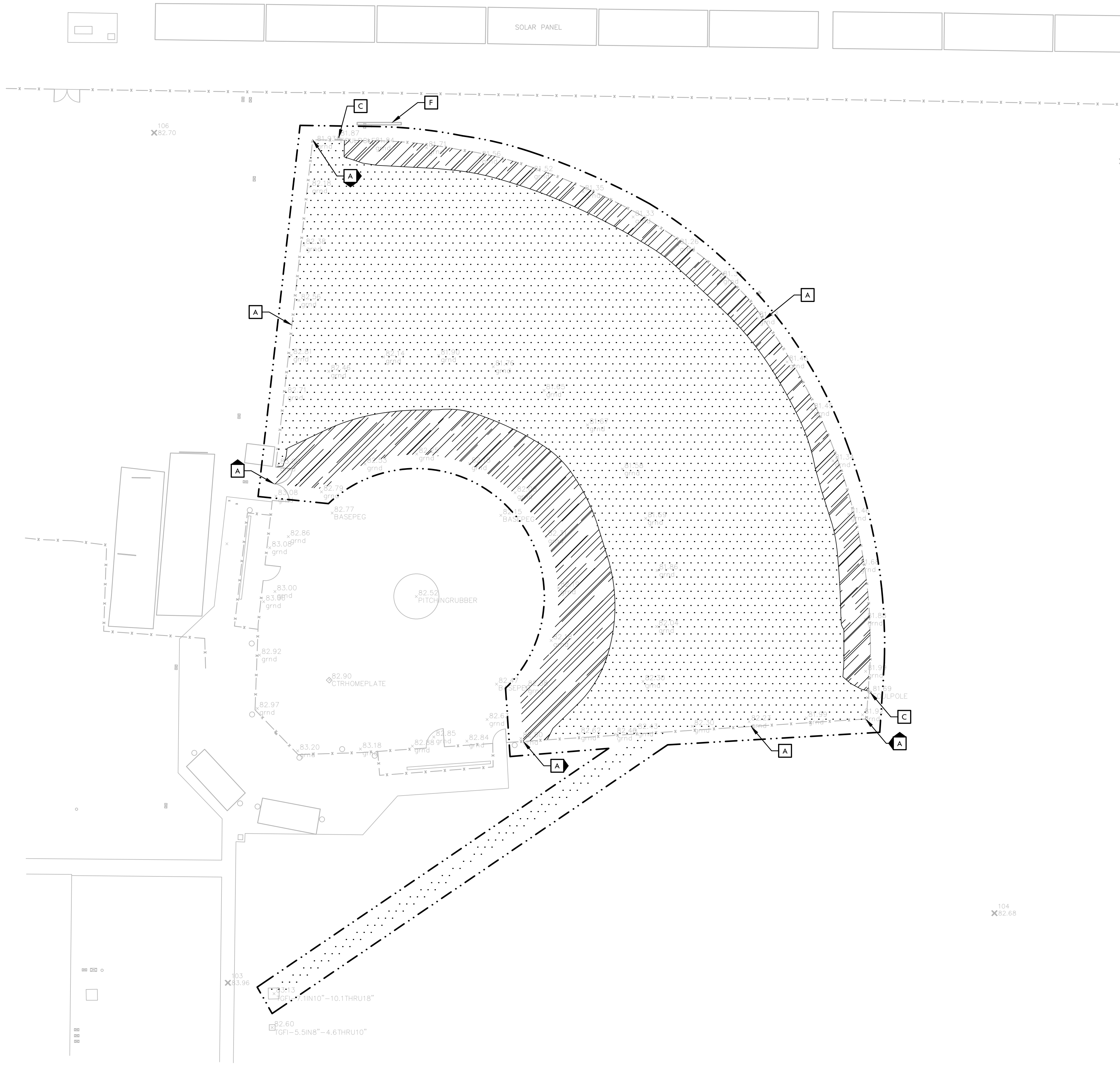
PROJECT ADDRESS
**1050 NEROLY ROAD
 OAKLEY, CA
 94561**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
1	ADDENDUM 1	05/13/22
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- REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING AND OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

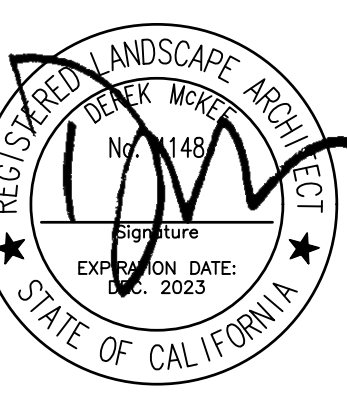
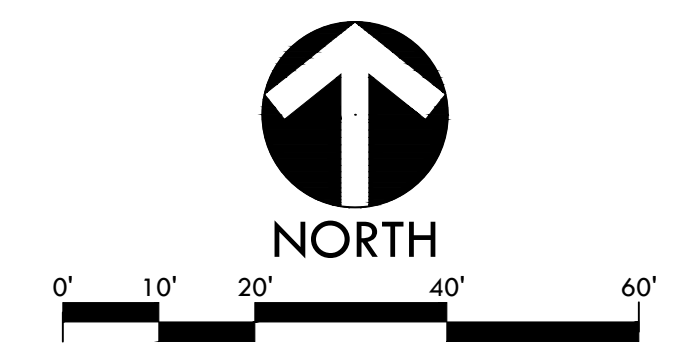
SYM	DESCRIPTION
	LIMIT OF WORK
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	EXISTING INFILL FINES (APPROXIMATE DEPTH OF 4") TO BE REMOVED AND REUSED FOR BASE LAYERS OF NEW INFILL FINES AREAS. REFER TO DETAIL F, SHEET D2.1. LEFT OVER INFILL FINES TO BE DISPOSED OF.
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	EXISTING SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. EXISTING TOPSOIL TO REMAIN. REFER TO SPECIFICATIONS FOR INFORMATION.

ITEMS TO BE DEMOLISHED AND/OR REMOVED

- EXISTING BASE/PLATE AND PEG TO BE REMOVED.
- EXISTING PITCHER'S MOUND INCLUDING PITCHER'S PLATE AND BASE TO BE REMOVED.

ITEMS TO BE PROTECTED OR RELOCATED

- A** EXISTING FENCE TO REMAIN AND BE PROTECTED. CONTRACTOR TO CHIP DOWN TOP OF EXISTING FENCE FOOTING TO ACCOMMODATE NEW CONCRETE SUB-CURB.
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- C** EXISTING FOUL POLE TO REMAIN AND BE PROTECTED.
- D** EXISTING STORAGE SHED TO REMAIN AND BE PROTECTED.
- E** EXISTING BULLPEN TO REMAIN AND BE PROTECTED.
- F** EXISTING SCOREBOARD TO REMAIN AND BE PROTECTED.



STAMP
CONSULTANT

SHEET TITLE
**DEMOLITION PLAN
SOFTBALL FIELD**

PROJECT NAME
**FREEDOM HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

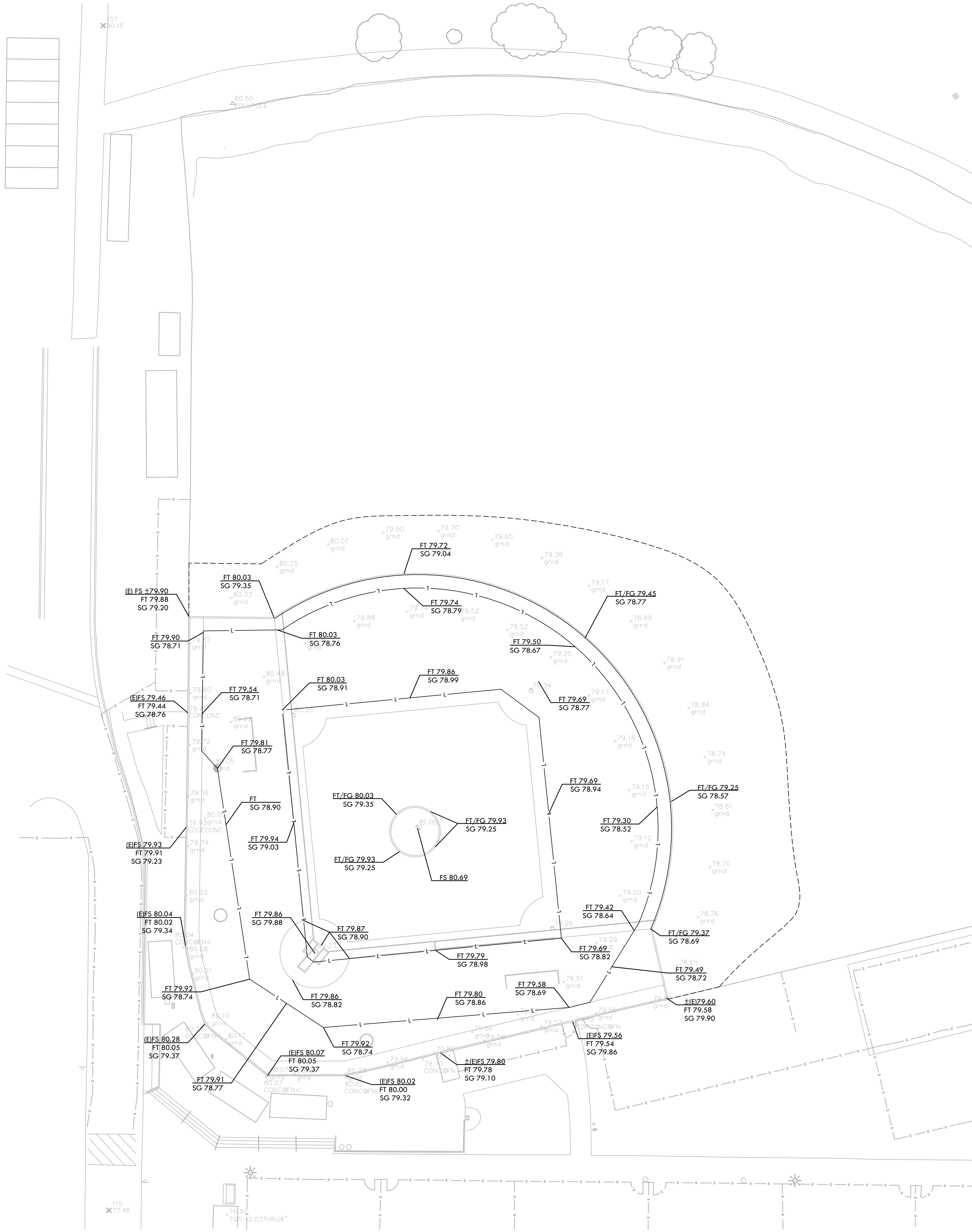
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GRADING NOTES

- EXISTING GRADES ARE BASED ON INFORMATION PROVIDED BY: _____ CONTRACTOR SHALL VERIFY EXISTING GRADES FOR ACCURACY PRIOR TO THE START OF GRADING, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE AND REDIRECT WORK TO AVOID DELAY.
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- PROPOSED GRADES SHALL MEET EXISTING GRADES WITH A SMOOTH AND CONTINUOUS TRANSITION SO AS TO AVOID TRAPPING WATER. CONTRACTOR SHALL NOTIFY DISTRICT REPRESENTATIVE IF PUDDLING IS SUSPECTED AND REDIRECT WORK SO AS TO AVOID DELAY WHILE AWAITING RESPONSE.
- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.

GRADING LEGEND

SYM	DESCRIPTION
	PROPOSED CONTOUR
	PROPOSED SUBGRADE CONTOUR
FG 32.00	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
FT 32.00	PROPOSED ELEVATION OF TOP OF SYNTHETIC TURF INFILL
FS 32.00	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
HP 32.00	HIGH POINT/ HIGH POINT OF SWALE
RIM 31.00	LOW POINT/ RIM ELEVATION OF DRAIN
SG 32.00	PROPOSED FINISH SUBGRADE ELEVATION
TC 32.50	TOP OF CURB
TD 99.00	TOP OF TRENCH DRAIN
	CENTER LINE OF SWALE
	CROWN OF FIELD, OR RIDGE LINE
	LOW POINT OF FIELD OR SWALE AT SUBGRADE ELEVATION
	CONFORM TO EXISTING GRADE
	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
	FLOW DIRECTION IN SOFTSCAPE
	EXISTING CONTOUR
+ 102.1	EXISTING ELEVATION



STAMP

CONSULTANT

SHEET TITLE

**GRADING PLAN
BASEBALL FIELD**

PROJECT NAME

**FREEDOM HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

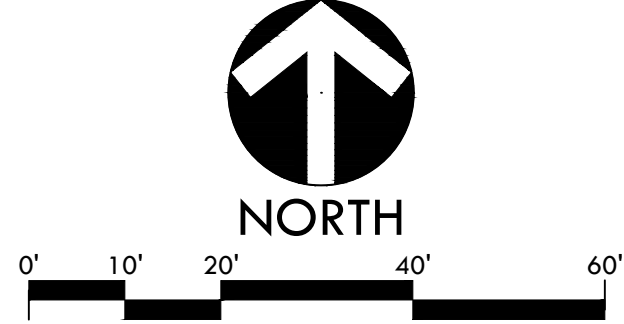
PROJECT ADDRESS

**1050 NEROLY ROAD
OAKLEY, CA
94561**

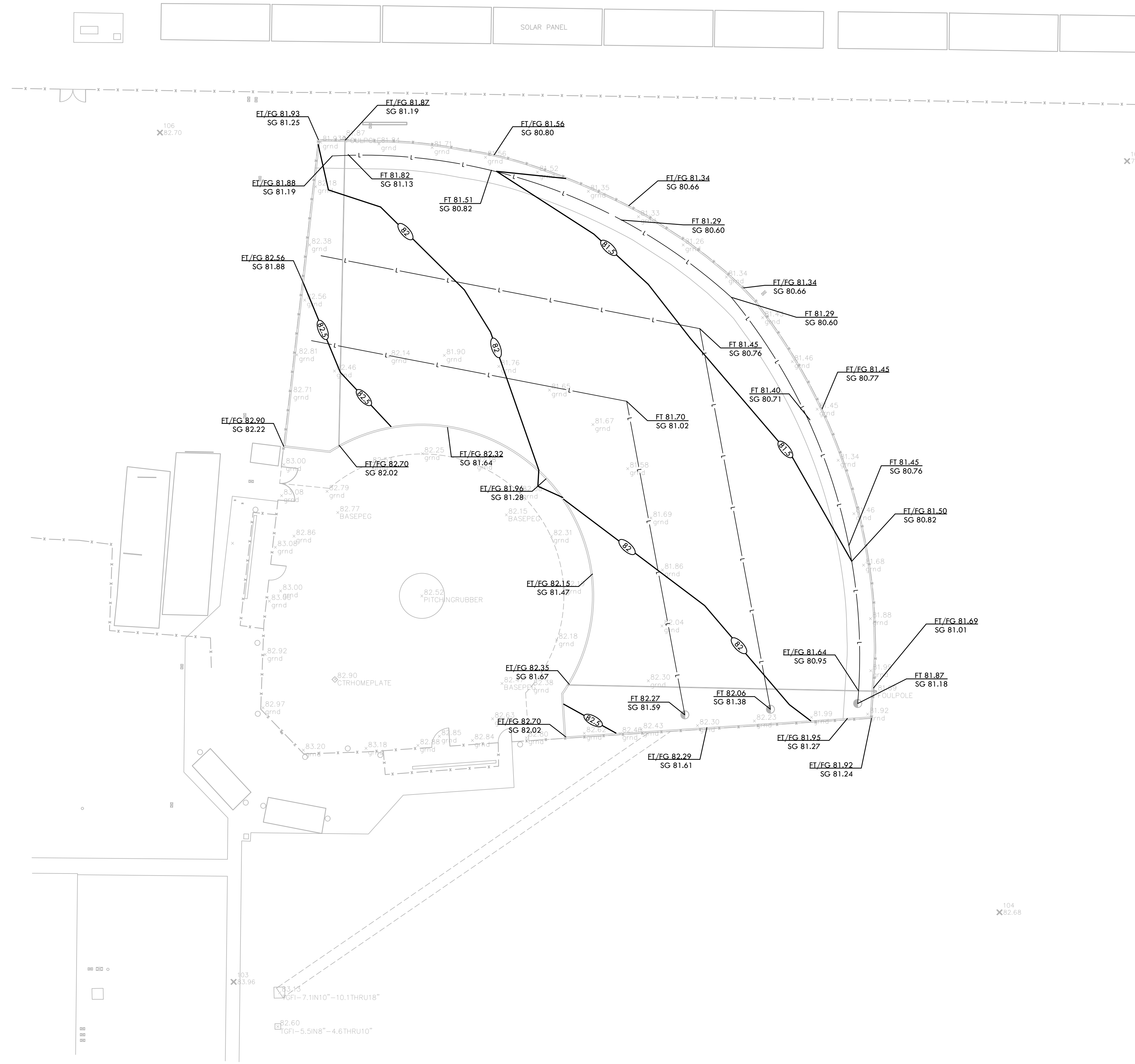
SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
▲	ADDENDUM 1	05/13/22
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DRAWN BY NN/JJ	CHECKED BY DM
DATE ISSUED 04/01/2022	SCALE 1"=20'-0"
PROJ. NO. 2111100	
SHEET NO. F-L4.1	



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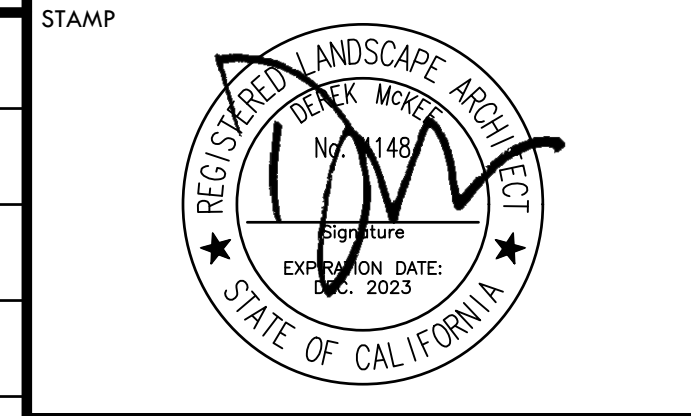
GRADING NOTES

- EXISTING GRADES ARE BASED ON INFORMATION PROVIDED BY: _____ CONTRACTOR SHALL VERIFY EXISTING GRADES FOR ACCURACY PRIOR TO THE START OF GRADING, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE AND REDIRECT WORK TO AVOID DELAY.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTRACT UNDER GROUND SERVICE ALERT (USA) AT (800) 227-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
- PROPOSED GRADES SHALL MEET EXISTING GRADES WITH A SMOOTH AND CONTINUOUS TRANSITION SO AS TO AVOID TRAPPING WATER. CONTRACTOR SHALL NOTIFY DISTRICT REPRESENTATIVE IF PUDDLING IS SUSPECTED AND REDIRECT WORK SO AS TO AVOID DELAY WHILE AWAITING RESPONSE.
- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.



GRADING LEGEND

SYM	DESCRIPTION
	PROPOSED CONTOUR
	PROPOSED SUBGRADE CONTOUR
FG 32.00	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
FT 32.00	PROPOSED ELEVATION OF TOP OF SYNTHETIC TURF INFILL
FS 32.00	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
HP 32.00	HIGH POINT/ HIGH POINT OF SWALE
RIM 31.00	LOW POINT/ RIM ELEVATION OF DRAIN
SG 32.00	PROPOSED FINISH SUBGRADE ELEVATION
TC 32.50	TOP OF CURB
TD 99.00	TOP OF TRENCH DRAIN
	CENTER LINE OF SWALE
	CROWN OF FIELD, OR RIDGE LINE
	LOW POINT OF FIELD OR SWALE AT SUBGRADE ELEVATION
	CONFORM TO EXISTING GRADE
	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
	FLOW DIRECTION IN SOFTSCAPE
	EXISTING CONTOUR
+ 102.1	EXISTING ELEVATION



STAMP	
CONSULTANT	

SHEET TITLE
**GRADING PLAN
 SOFTBALL FIELD**

PROJECT NAME
**FREEDOM HIGH SCHOOL
 BASEBALL INFIELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

PROJECT ADDRESS
**1050 NEROLY ROAD
 OAKLEY, CA
 94561**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
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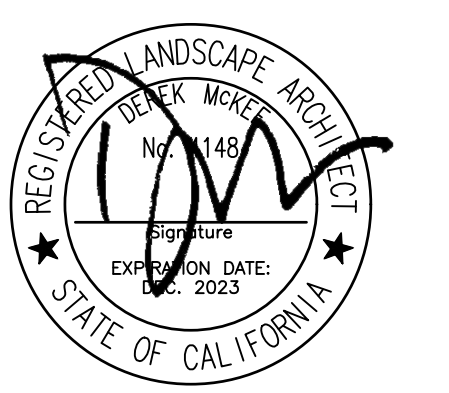
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DRAINAGE & UTILITY NOTES

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- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. TO REMAIN, SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.
- THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
- COORDINATE ALL SLEEVING AND UTILITY LOCATIONS AS SHOWN ON THE PLANS AND DETAILS CONTAINED WITHIN THESE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO ENSURE THAT ALL REMAINING ACTIVE AND NEW DRAINAGE AND UTILITY LINES ARE PROTECTED AND UNDAMAGED FROM TRENCHING AND FOOTING EXCAVATIONS FOR NEW FOOTINGS, PARTICULARLY FOR NEW FENCING AND WALLS.
- ALL ABANDONED STORM LINES SHALL REMAIN IN PLACE UNLESS IN CONFLICT WITH PROPOSED DRAINAGE, UTILITY, OR SUBGRADING OPERATIONS, IN WHICH CASE ABANDONED PIPE IN CONFLICT SHALL BE REMOVED. REMAINING ABANDONED STORM PIPE SHALL BE SEALED WITH APPROPRIATELY SIZED CONCRETE CAP (3 SACK MIX) 6\"/>



DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER	SHEET NUMBER
	CATCH BASIN, SIZE PER PLAN	B	D1.1
	JUNCTION BOX, SIZE PER PLAN	C	D1.1
	CLEANOUT IN SYNTHETIC TURF	D	D1.1
	CONVERT EXISTING CATCH BASIN TO JUNCTION BOX IN SYNTHETIC TURF	G	D1.1
	SOLID WALL STORM DRAIN	A	D1.1
	PERFORATED SUBDRAIN LINE	H	D1.1
	FLAT PANEL - BID ALTERNATE C	F	D1.1
	END PIPE CAP	EPC	
(E)	EXISTING		
CB	CATCH BASIN		
INV	INVERT		
RIM	RIM ELEVATION		
TOR	TOP OF ROCK ELEVATION		
LF	LINEAR FEET		
COIT	CLEANOUT IN TURF		
COIF	CLEANOUT IN INFELD FINES		
COTG	CLEANOUT TO GRADE		
SSCO	SANITARY SEWER CLEANOUT		
S=0.5%	SLOPE		
MIN.	MINIMUM		
TD	TRENCH DRAIN ELEVATION		
N, S, W, EA,	NORTH, SOUTH, WEST, EAST		

CONSULTANT

SHEET TITLE
**DRAINAGE AND UTILITY PLAN
 BASEBALL FIELD**

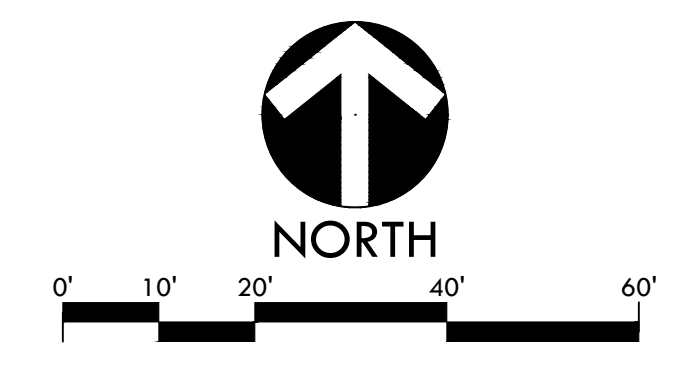
PROJECT NAME
**FREEDOM HIGH SCHOOL
 BASEBALL INFELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

PROJECT ADDRESS
**1050 NEROLY ROAD
 OAKLEY, CA
 94561**

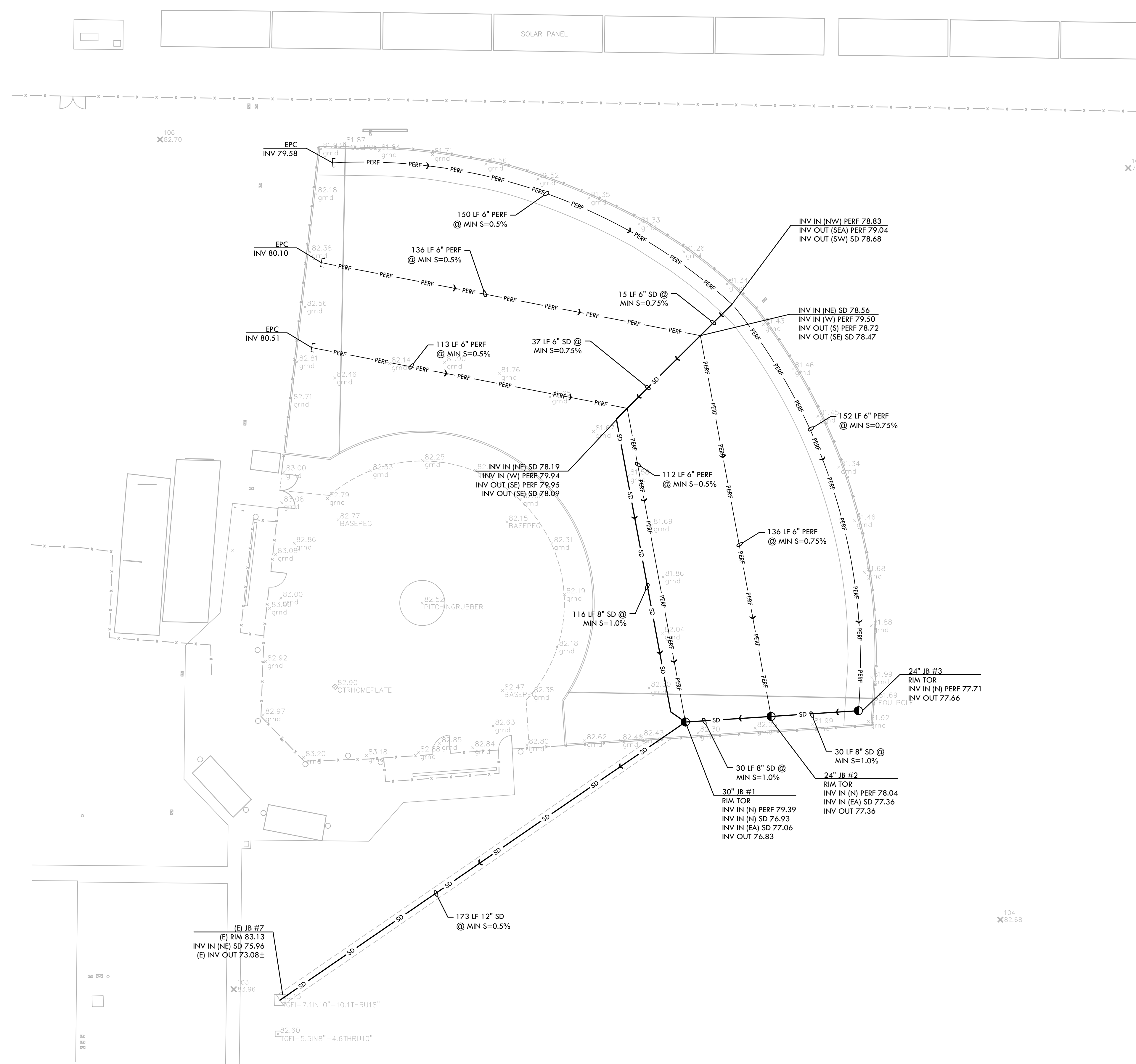
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DRAINAGE & UTILITY NOTES

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- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. TO REMAIN, SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.
- THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
- COORDINATE ALL SLEEVING AND UTILITY LOCATIONS AS SHOWN ON THE PLANS AND DETAILS CONTAINED WITHIN THESE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO ENSURE THAT ALL REMAINING ACTIVE AND NEW DRAINAGE AND UTILITY LINES ARE PROTECTED AND UNDAMAGED FROM TRENCHING AND FOOTING EXCAVATIONS FOR NEW FOOTINGS, PARTICULARLY FOR NEW FENCING AND WALLS.
- ALL ABANDONED STORM LINES SHALL REMAIN IN PLACE UNLESS IN CONFLICT WITH PROPOSED DRAINAGE, UTILITY, OR SUBGRADING OPERATIONS, IN WHICH CASE ABANDONED PIPE IN CONFLICT SHALL BE REMOVED. REMAINING ABANDONED STORM PIPE SHALL BE SEALED WITH APPROPRIATELY SIZED CONCRETE CAP (3 SACK MIX) 6" ENVELOPE OUTSIDE AND INSIDE DIAMETER OF PIPE.
- PRIOR TO ALL DRAINAGE AND UTILITY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL POTENTIAL DRAINAGE CONNECTIONS AND EXISTING UTILITY BY POTHOLES. IN ADDITION, ALL DOWNSTREAM CONNECTIONS TO EXISTING STRUCTURES SHALL BE THE START OF THESE OPERATIONS, AND GRADES SHALL BE VERIFIED.
- WHEN WORK HAS TO OCCUR UNDER THE DRIPLINE OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. ALL PARTIAL CUTS OR TEARS THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.



DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER	SHEET NUMBER
⊕	CATCH BASIN, SIZE PER PLAN	B	D1.1
⊙	JUNCTION BOX, SIZE PER PLAN	C	D1.1
⊙	CLEANOUT IN SYNTHETIC TURF	D	D1.1
⊕	CONVERT EXISTING CATCH BASIN TO JUNCTION BOX IN SYNTHETIC TURF	G	D1.1
SD	SOLID WALL STORM DRAIN	A	D1.1
PERF	PERFORATED SUBDRAIN LINE	H	D1.1
FP	FLAT PANEL - BID ALTERNATE C	F	D1.1
EPC	END PIPE CAP		
(E)	EXISTING		
CB	CATCH BASIN		
INV	INVERT		
RIM	RIM ELEVATION		
TOR	TOP OF ROCK ELEVATION		
LF	LINEAR FEET		
COIT	CLEANOUT IN TURF		
COIF	CLEANOUT IN INFELD FINES		
COTG	CLEANOUT TO GRADE		
SSCO	SANITARY SEWER CLEANOUT		
S=0.5%	SLOPE		
MIN.	MINIMUM		
TD	TRENCH DRAIN ELEVATION		
N, S, W, EA,	NORTH, SOUTH, WEST, EAST		

CONSULTANT

SHEET TITLE

**DRAINAGE AND UTILITY PLAN
SOFTBALL FIELD**

PROJECT NAME

**FREEDOM HIGH SCHOOL
BASEBALL INFELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

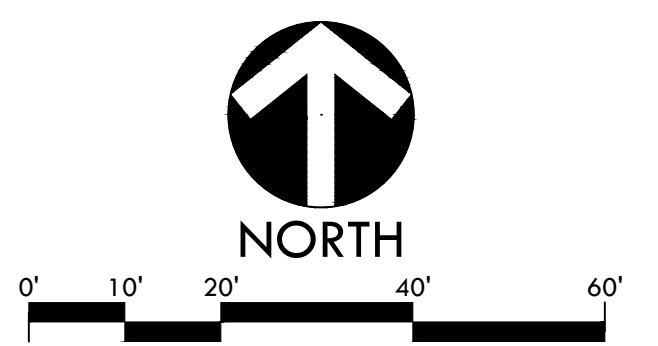
PROJECT ADDRESS

**1050 NEROLY ROAD
OAKLEY, CA
94561**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
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PROJ. NO. 2111100	SHEET NO. F-L5.2



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LAYOUT NOTES

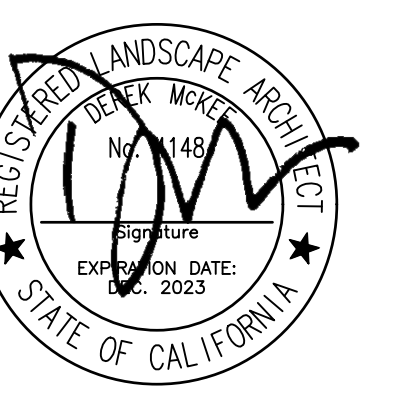
1. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS AND REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD DISCREPANCY ARISE AND REDIRECT WORK TO AVOID DELAYS.
2. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD AND CHALKED, STRING LINED OR FLAGGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MINOR ADJUSTMENTS MADE TO ACHIEVE OVERALL DESIGN LAYOUT SHALL BE ACCEPTED BY THE OWNER PRIOR TO CONSTRUCTION.
3. LAYOUT IS BASED ON THE POINT(S) OF BEGINNING (P.O.B.) AND BASELINE(S) OR GRID SYSTEM AS SHOWN. DIMENSIONS SHOWN ARE ROUNDED TO THE NEAREST INCH.
4. ALL LAYOUT AND GRADES SHALL BE COMPLETED BY A LICENSED SURVEYOR.

LAYOUT LEGEND

SYM	DESCRIPTION
	POINT OF BEGINNING SYMBOL
	CONTROL POINT
	RADIUS POINT / CENTER MARK
	PROPOSED ANGLE BETWEEN ELEMENTS
	ALIGN EDGES OF ELEMENTS
	BASELINE & GRID
	CONTROL LINE
	CENTER LINES
	NORTHING/EASTING LAYOUT COORDINATE CALLOUT
	(COD) CENTER OF DRAIN - NEW JUNCTION BOX
	(COP) CENTER OF POST
	(POB) POINT OF BEGINNING FOR GRID LAYOUT
	(RAD) RADIUS POINT
	(TAN) TANGENT POINT



VERDE DESIGN
 LANDSCAPE ARCHITECTURE
 CIVIL ENGINEERING
 SPORT PLANNING & DESIGN
 2455 The Alameda
 Santa Clara, CA 95050
 tel: 408.985.7200
 fax: 408.985.7260
 www.VerdeDesigninc.com



STAMP

CONSULTANT

SHEET TITLE

LAYOUT PLAN
SOFTBALL FIELD

PROJECT NAME

FREEDOM HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS

PROJECT ADDRESS

1050 NEROLY ROAD
 OAKLEY, CA
 94561

SUBMITTAL

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO. REVISIONS

NO.	REVISIONS	DATE
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DRAWN BY

NN/JJ CHECKED BY DM

DATE ISSUED

04/01/2022 SCALE 1"=20'-0"

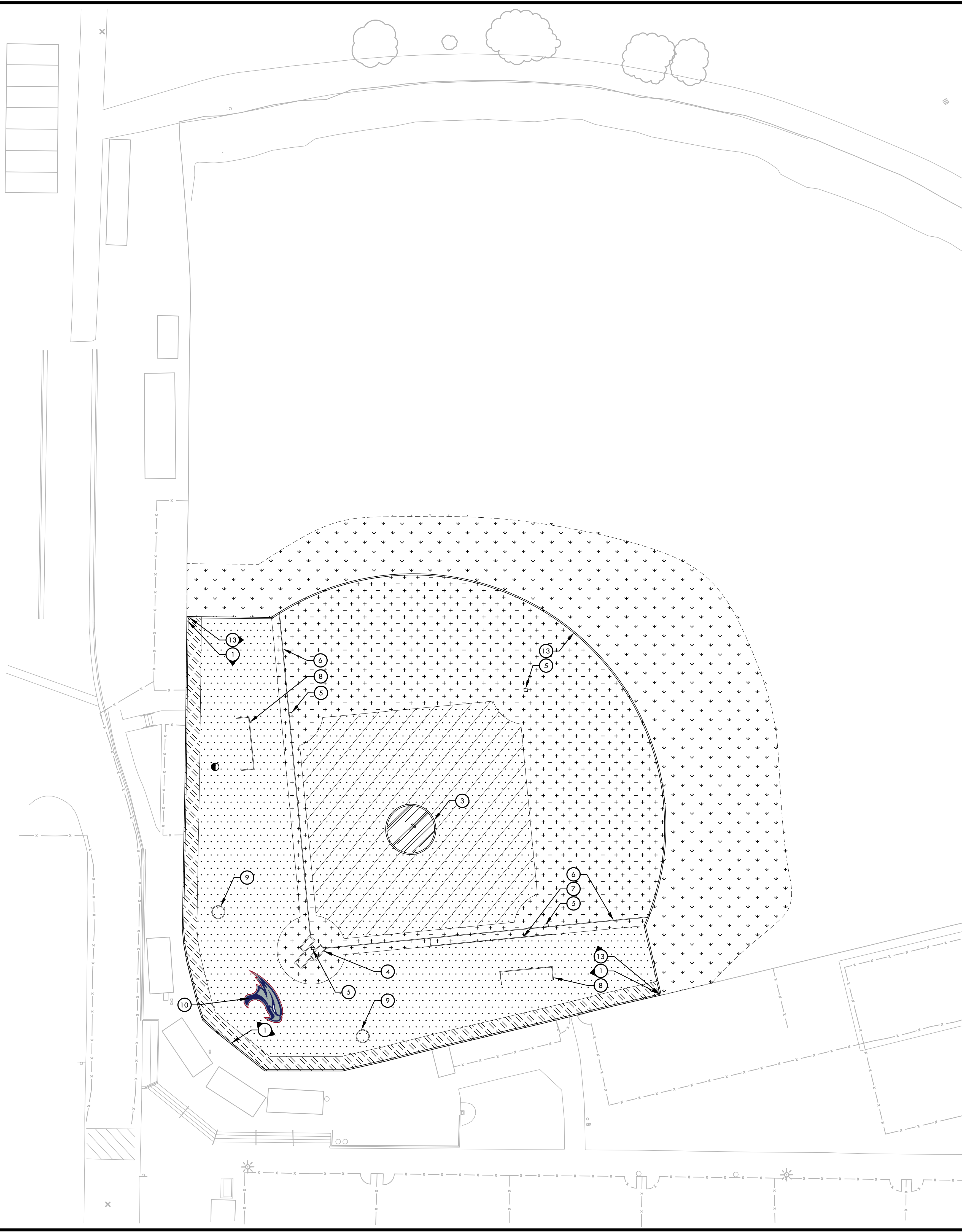
PROJ. NO.

2111100

SHEET NO.

F-L6.2

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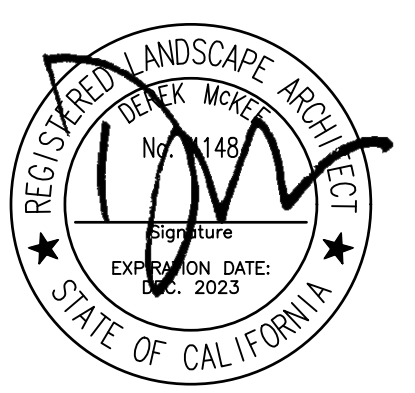
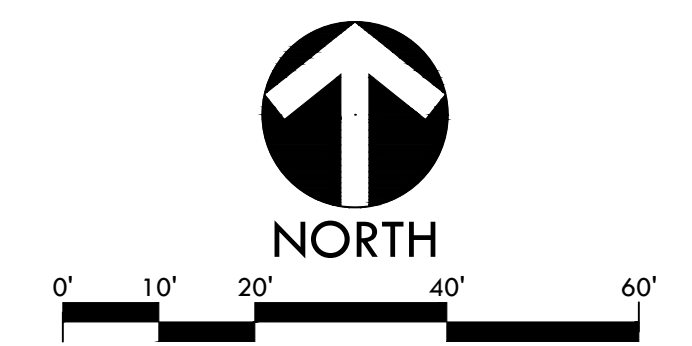


MATERIAL NOTES

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2. THE INTERFACE OF ALL PROPOSED IMPROVEMENTS TO EXISTING SITE SHALL CONFORM AND BE SMOOTH AND UNIFORM.
3. ALL REINFORCING AND FORMS SHALL BE SECURED IN PLACE AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING ANY CONCRETE.
4. ASPHALT SHALL NOT BE INSTALLED UNTIL ALL EDGES AND SITE FURNISHING PADS ARE INSTALLED.

MATERIAL LEGEND

SYM	DESCRIPTION	DTL REF
	NATURAL TURF - SOD REFER TO SPECIFICATIONS	(C) D2.1
	CLAY	(F) D2.1
	2" GREEN SYNTHETIC TURF - REFER TO SPECIFICATIONS	(E) D2.1
	2" BROWN WARNING TRACK SYNTHETIC TURF - REFER TO SPECIFICATIONS	(E) D2.1
	2" BROWN SYNTHETIC TURF - REFER TO SPECIFICATIONS	(E) D2.1
(1)	CONCRETE SUB-CURB - SYNTHETIC TURF CONNECTION	(C) D2.1
(2)	6" WIDE SYNTHETIC TURF EDGE BAND AT INFIELD FINES	(D) D2.1
(3)	BASEBALL PITCHER'S MOUND	(B) D3.1
(4)	HOME PLATE AREA - REFER TO SPECIFICATIONS	(A,C,B) D3.1
(5)	BASES - REFER TO SPECIFICATIONS BASE PAD LOCATION WITH SINGLE ANCHOR BASE SLEEVE	(D,F) D3.1
(6)	FOUL LINE STRIPING	(A) D3.1
(7)	RUNNER'S LANE STRIPING	
(8)	COACHES' BOX STRIPING	(A) D3.1
(9)	ON DECK CIRCLE STRIPING	(A) D3.1
(10)	BASEBALL HOME PLATE LOGO	(C) D3.2
(11)	SOFTBALL OUTFIELD LOGO	(C) D3.2
(12)	OUTFIELD DISTANCE MARKER	(G) D3.1
(13)	6" WIDE SYNTHETIC TURF EDGE BAND AT NATURAL TURF	(H) D2.1



STAMP

CONSULTANT

SHEET TITLE
**MATERIAL AND
 DETAIL REFERENCE
 PLAN
 BASEBALL FIELD**

PROJECT NAME
**FREEDOM HIGH SCHOOL
 BASEBALL INFIELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

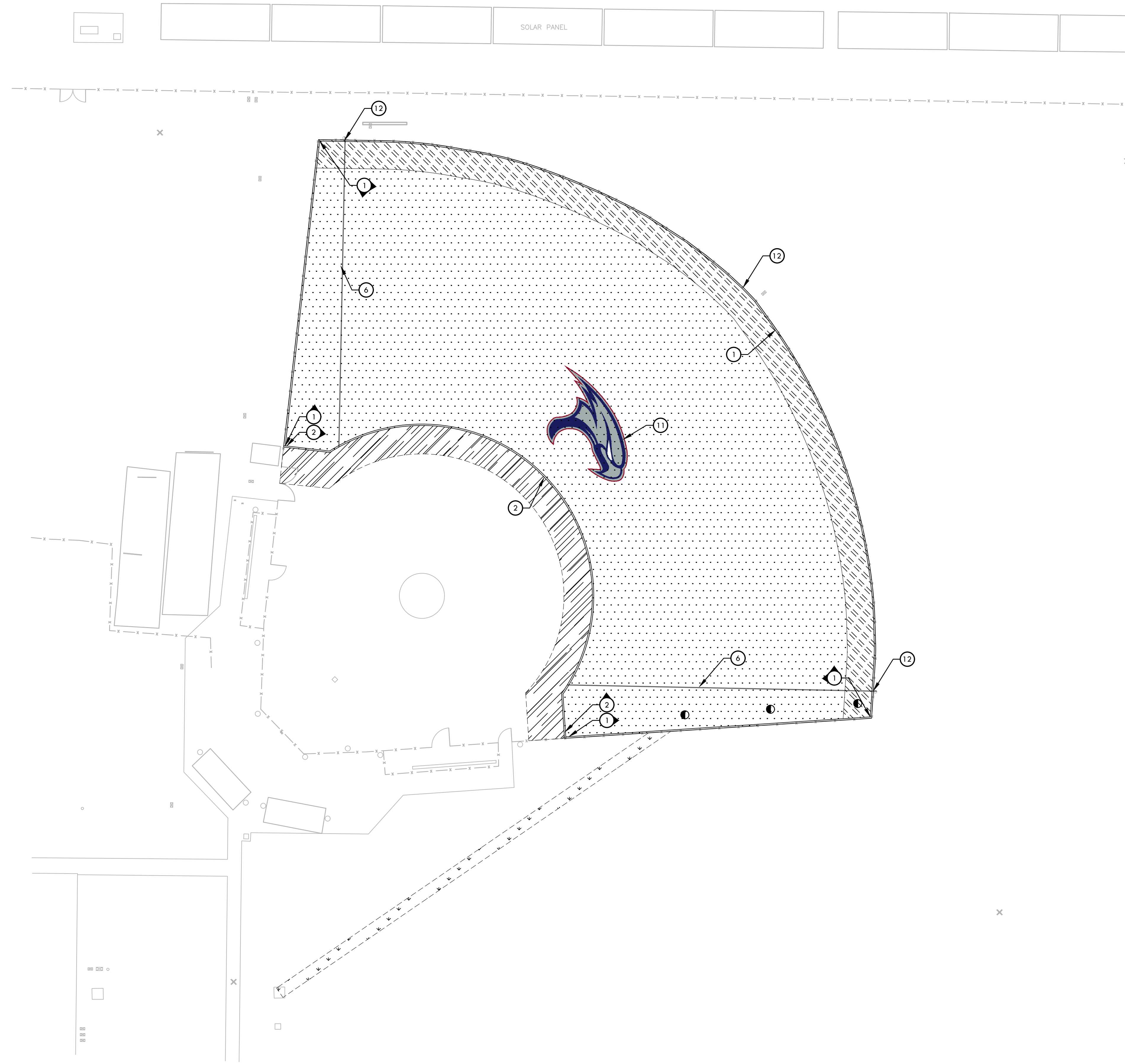
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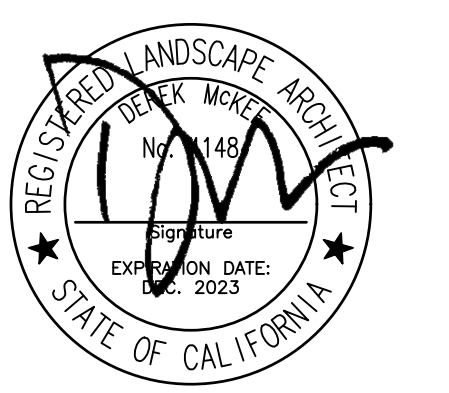
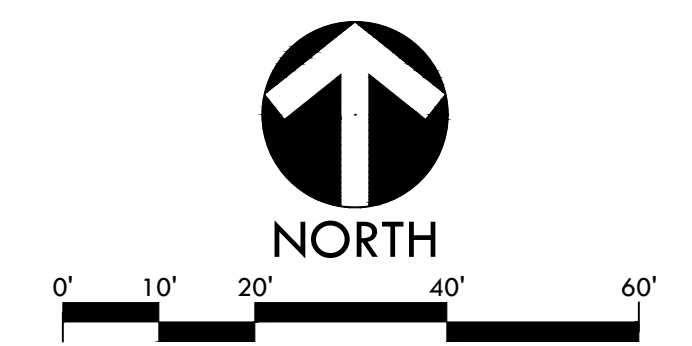


MATERIAL NOTES

1. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS AND REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD DISCREPANCY ARISE AND REDIRECT WORK TO AVOID DELAYS.
2. THE INTERFACE OF ALL PROPOSED IMPROVEMENTS TO EXISTING SITE SHALL CONFORM AND BE SMOOTH AND UNIFORM.
3. ALL REINFORCING AND FORMS SHALL BE SECURED IN PLACE AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING ANY CONCRETE.
4. ASPHALT SHALL NOT BE INSTALLED UNTIL ALL EDGES AND SITE FURNISHING PADS ARE INSTALLED.

MATERIAL LEGEND

SYM	DESCRIPTION	DTL REF
(Pattern: Dotted)	NATURAL TURF - SOD REFER TO SPECIFICATIONS	(A) D3.1
(Pattern: Diagonal lines)	CLAY	(F) D2.1
(Pattern: Dotted with small circles)	2" GREEN SYNTHETIC TURF - REFER TO SPECIFICATIONS	(E) D2.1
(Pattern: Diagonal lines with small circles)	2" BROWN WARNING TRACK SYNTHETIC TURF - REFER TO SPECIFICATIONS	(E) D2.1
(Pattern: Dotted with small squares)	2" BROWN SYNTHETIC TURF - REFER TO SPECIFICATIONS	(E) D2.1
(Symbol: Circle with 1)	CONCRETE SUB-CURB - SYNTHETIC TURF CONNECTION	(C) D2.1
(Symbol: Circle with 2)	6" WIDE SYNTHETIC TURF EDGE BAND AT INFIELD FINES	(D) D2.1
(Symbol: Circle with 3)	BASEBALL PITCHER'S MOUND	(B) D3.1
(Symbol: Circle with 4)	HOME PLATE AREA - REFER TO SPECIFICATIONS	(A,C,B) D3.1
(Symbol: Circle with 5)	BASES - REFER TO SPECIFICATIONS BASE PAD LOCATION WITH SINGLE ANCHOR BASE SLEEVE	(D,F) D3.1
(Symbol: Circle with 6)	FOUL LINE STRIPING	(A) D3.1
(Symbol: Circle with 7)	RUNNER'S LANE STRIPING	
(Symbol: Circle with 8)	COACHES' BOX STRIPING	(A) D3.1
(Symbol: Circle with 9)	ON DECK CIRCLE STRIPING	(A) D3.1
(Symbol: Circle with 10)	BASEBALL HOME PLATE LOGO	(C) D3.2
(Symbol: Circle with 11)	SOFTBALL OUTFIELD LOGO	(C) D3.2
(Symbol: Circle with 12)	OUTFIELD DISTANCE MARKER	(G) D3.1
(Symbol: Circle with 13)	6" WIDE SYNTHETIC TURF EDGE BAND AT NATURAL TURF	(H) D2.1



STAMP

CONSULTANT

SHEET TITLE

**MATERIAL AND
DETAIL REFERENCE
PLAN
SOFTBALL FIELD**

PROJECT NAME

**FREEDOM HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

PROJECT ADDRESS

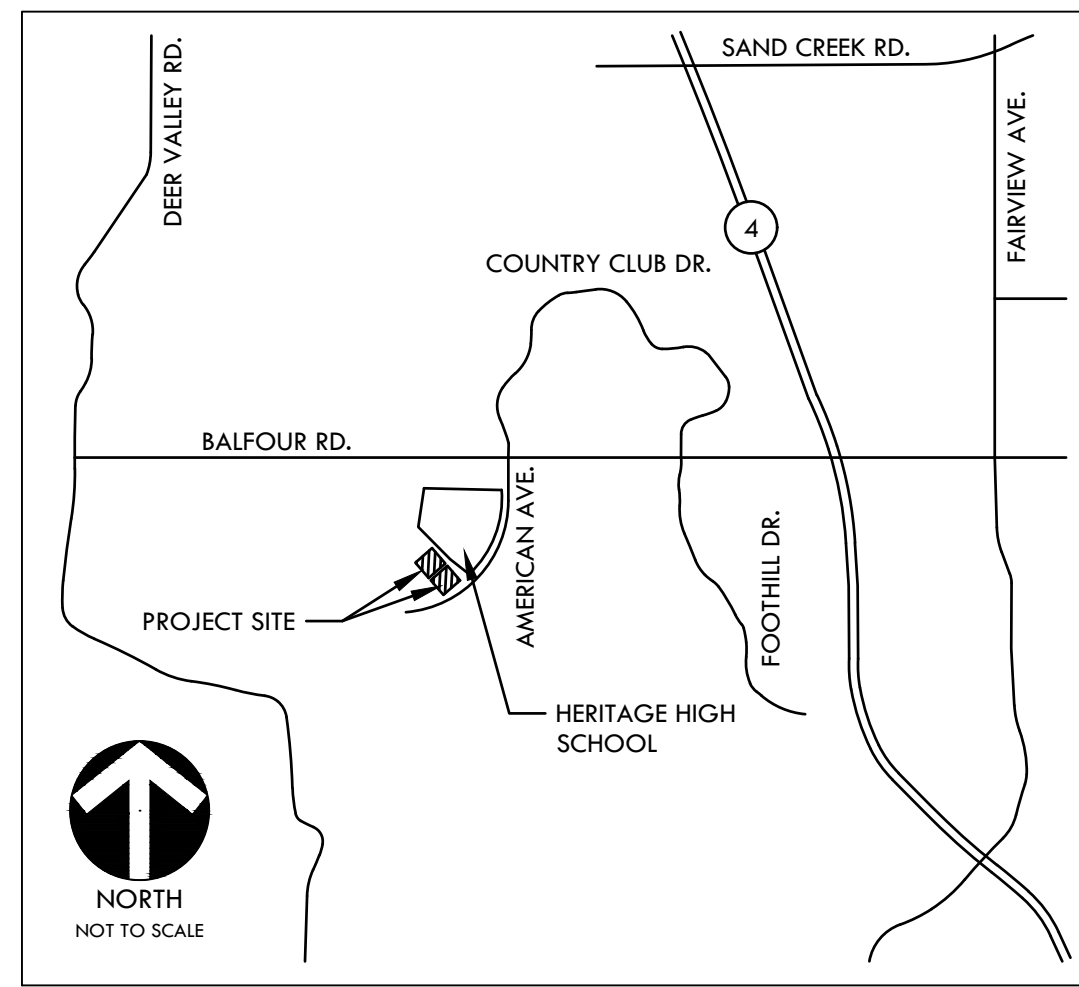
**1050 NEROLY ROAD
OAKLEY, CA
94561**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

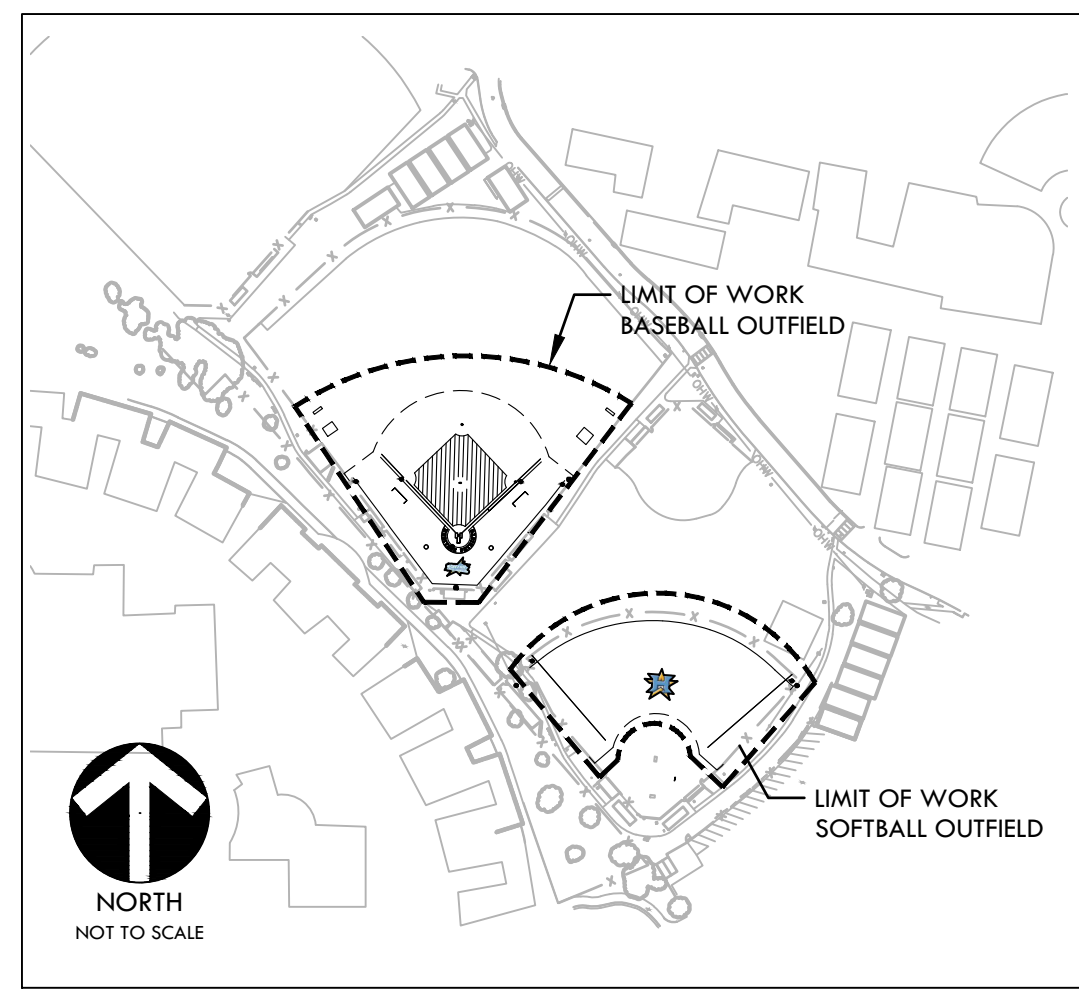
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PROJ. NO. 2111100	
SHEET NO. F-L7.2	

PROJECT MAPS



VICINITY MAP



SITE MAP

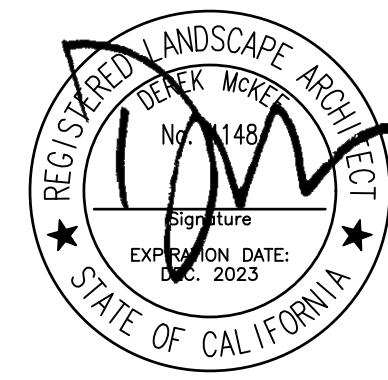
CONSTRUCTION DRAWINGS FOR HERITAGE HIGH SCHOOL BASEBALL INFIELD & SOFTBALL OUTFIELD IMPROVEMENTS

101 AMERICAN AVE
BRENTWOOD, CA 94513
LIBERTY UNION HIGH SCHOOL DISTRICT
VERDE DESIGN, INC. PROJECT NO. 2111100

PREPARED BY



VERDE DESIGN
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LANDSCAPE ARCHITECT VERDE DESIGN INC.	DEREK MCKEE JERRY JIANG NIRMALA NAVARRO	(408) 850-3410 (408) 850-3409 (408) 850-3474

SCOPE OF WORK

BASE BID
SCOPE OF WORK SHALL INCLUDE THE DEMOLITION OF EXISTING INFIELD FINES, NATURAL TURF, AND IRRIGATION. CONTRACTOR SHALL COMPLETE EARTHWORK AND GRADING OPERATIONS, THE INSTALLATION OF NEW CONCRETE WORK, DRAINAGE SYSTEM IMPROVEMENTS, FENCING, EDGEBANDS, ATHLETIC FURNISHINGS, SYNTHETIC TURF, INFIELD FINES, IRRIGATION, AND LANDSCAPING.

- BID ALTERNATE
- BID ALTERNATE A - SYNTHETIC TURF MAINTENANCE CONTRACT, REFER TO SPECIFICATIONS.
 - BID ALTERNATE C - FLAT PANEL DRAINS, REFER TO DRAINAGE PLANS H-LS.1 & H-LS.2.

GENERAL NOTES

- PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPLAIN OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONDITIONS, REQUIRING WORK, WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS.
- NO CONSTRUCTION SHALL COMMENCE WITHOUT THE OFFICIAL NOTICE TO PROCEED FROM THE OWNER.
- THE GENERAL CONTRACTOR & SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING DRAWINGS AND THE OWNER, BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL OF THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH OF UTILITIES, AND REPORT POTENTIAL CONFLICTS TO THE OWNER PRIOR TO EXCAVATING FOR NEW FACILITIES.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES CAUSED BY ITS OPERATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS WITHIN SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THEIR ORIGINAL CONDITION OR BETTER AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- DIMENSIONS AND LOCATIONS OF EXISTING FACILITIES ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, AS WELL AS ADAPTED STANDARDS.
- ALL NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO, THE WRITTEN SPECIFICATIONS AND DETAILS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- THIS DRAWING SET SHALL BE USED IN CONJUNCTION WITH THE CSI FORMAT SPECIFICATIONS PUBLISHED IN BOOK FORM. COMBINED, THEY ARE REFERRED TO AS THE "CONTRACT DOCUMENTS".
- DIMENSIONS ON WORKING DRAWINGS TAKE PRECEDENCE OVER MEASURED ELEMENTS. CONTRACTOR SHALL NOT SCALE DRAWINGS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- ANY ALTERATIONS OF EXISTING FACILITIES TO ACCOMMODATE THE INSTALLATION OF NEW WORK SHALL BE REVIEWED BY THE OWNER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK TO AVOID DISTURBING STUDENTS OR TEACHERS DURING SCHOOL HOURS. ANY DISRUPTION OF THE UTILITIES MUST BE COORDINATED AND APPROVED BY THE OWNER AND INSPECTOR OF RECORD PRIOR TO COMMENCING WORK.
- ALL TEMPORARY WORK SHALL BE CONSIDERED A PART OF THIS CONTRACT AND NO EXTRA CHARGES WILL BE ALLOWED. THIS SHALL INCLUDE MINOR ITEMS OF MATERIAL OR EQUIPMENT NECESSARY TO MEET THE REQUIREMENTS AND INTENT OF THE PROJECT.
- THE PLANS AND SPECIFICATIONS DO NOT UNDERTAKE TO SHOW OR LIST EVERY ITEM TO BE PROVIDED, BUT RATHER TO DEFINE THE REQUIREMENTS FOR A FULL AND WORKING SYSTEM FROM THE STANDPOINT OF THE END USER. FOR THIS REASON, WHEN AN ITEM NOT SHOWN OR LISTED IS CLEARLY NECESSARY FOR PROPER CONTROL/OPERATION OF EQUIPMENT WHICH IS SHOWN OR LISTED, THE CONTRACTOR SHALL PROVIDE AN ITEM WHICH WILL ALLOW THE SYSTEM TO FUNCTION PROPERLY AT NO INCREASE IN PRICE.
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS STEMMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
- THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK AND IS SUBJECT TO REJECTION AND REPLACEMENT. SEE SPECIFICATIONS FOR SUBMITTAL AND SUBSTITUTION REQUIREMENTS.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
- ALL EQUIPMENT SHALL BE FABRICATED FROM FIELD VERIFIED DIMENSIONS AND APPROVED SHOP DRAWINGS. COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
- CONTRACTOR SHALL PERFORM THEIR CONSTRUCTION AND OPERATIONS IN A MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED "BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE CALIFORNIA STORM WATER QUALITY ASSOCIATION, NONPOINT SOURCE POLLUTION CONTROL PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT THEIR PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCING PER CONTRACT DOCUMENTS TO SERVE LIMIT OF WORK AREAS. FENCING MAY BE ADJUSTED DURING CONSTRUCTION BASED ON CONSTRUCTION SEQUENCE OR THE OWNER'S DIRECTION.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED.

APPLICABLE CODES

- 2019 CBC CHAPTER 35; PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS. WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT MAY STILL BE USED. APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE THE STANDARD IS REFERENCED, NOT THE ENTIRE STANDARD.
 - 2019 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
 - 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
 - (2018 INTERNATIONAL BUILDING CODE VOLUMES 1-2)
 - 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
 - (2017 NATIONAL ELECTRICAL CODE)
 - 2019 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R.
 - (2018 UNIFORM MECHANICAL CODE)
 - 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
 - (2018 UNIFORM PLUMBING CODE)
 - 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
 - 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
 - (2018 INTERNATIONAL FIRE CODE AND 2016 CALIFORNIA AMENDMENTS)
 - 2019 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R.
 - (2018 INTERNATIONAL EXISTING BUILDING CODE)
 - 2019 CALIFORNIA "GREEN" BUILDING REQUIREMENTS OR CAL GREEN, PART 11, TITLE 24 C.C.R.
 - 2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
 - 2019 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
- LIST OF FEDERAL CODES AND STANDARDS (IF APPLICABLE)
 - AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III
 - FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) 28 CFR 35.151(C)
 - OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 35)
 - FOR TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)
 - 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN 28 CFR 36.406
- NOTE: TITLE II APPLIES TO PROJECTS FUNDED AND/OR USED BY STATE AND LOCAL GOVERNMENT SERVICES. TITLE III COVERS PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. DEPENDING ON THE USE AND FUNDING, BOTH TITLE MAY APPLY TO THE PROJECT.
 - NFPA 13 AUTOMATIC SPRINKLER SYSTEMS 2019 EDITION
 - NFPA 14 STANDPIPE SYSTEMS 2019 EDITION
 - NFPA 17 DRY CHEMICAL EXTINGUISHING SYSTEMS 2017 EDITION
 - NFPA 17A WET CHEMICAL EXTINGUISHING SYSTEMS 2017 EDITION
 - NFPA 20 STATIONARY FIRE PUMPS 2019 EDITION
 - NFPA 24 PRIVATE FIRE SERVICE MAINS 2019 EDITION
 - NFPA 72 NATIONAL FIRE ALARM AND SIGNALING CODE (CALIFORNIA AMENDED) (NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES") 2019 EDITION
 - NFPA 253 CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS 2019 EDITION
 - NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS 2018 EDITION
 - ASME 17.1 ELEVATOR STANDARD 2016 EDITION
- REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2019 CALIFORNIA BUILDING CODE (FOR SFM) REFERENCED STANDARDS CHAPTER 35
ADA STANDARD FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- ALL EXISTING FIRE EXTINGUISHING SYSTEMS ARE IN COMPLIANCE WITH UL 300, CBC 904.11, CFC 904.11.

SHEET INDEX (27 Sheets)

SHEET NO.	SHEET DESCRIPTION
C0.0	COVER SHEET
H-10.1	OVERALL SITE PLAN
H-10.2	PROJECT SITE ACCESSIBILITY PLAN
H-10.3	EXISTING SITE CONDITIONS REVIEW
H-10.4	EXISTING SITE CONDITIONS REVIEW
F-11.1	EXISTING CONDITIONS AND SURVEY PLAN - BASEBALL FIELD
FL1.2	EXISTING CONDITIONS AND SURVEY PLAN - SOFTBALL FIELD
H-12.1	EROSION AND SEDIMENT CONTROL PLAN - BASEBALL FIELD
H-12.2	EROSION AND SEDIMENT CONTROL PLAN - SOFTBALL FIELD
H-13.1	DEMOLITION PLAN - BASEBALL FIELD
H-13.2	DEMOLITION PLAN - SOFTBALL FIELD
H-13.3	IRRIGATION DEMOLITION PLAN - BASEBALL FIELD
H-13.4	IRRIGATION DEMOLITION PLAN - SOFTBALL FIELD
H-14.1	GRADING PLAN - BASEBALL FIELD
H-14.2	GRADING PLAN - SOFTBALL FIELD
H-15.1	DRAINAGE AND UTILITY PLAN - BASEBALL FIELD
H-15.2	DRAINAGE AND UTILITY PLAN - SOFTBALL FIELD
H-16.1	LAYOUT PLAN - BASEBALL FIELD
H-16.2	LAYOUT PLAN - SOFTBALL FIELD
H-17.1	MATERIAL AND DETAIL REFERENCE PLAN - BASEBALL FIELD
H-17.2	MATERIAL AND DETAIL REFERENCE PLAN - SOFTBALL FIELD
H-18.1	IRRIGATION PLAN - BASEBALL FIELD
D1.1	DRAINAGE AND UTILITY DETAILS
D2.1	CONSTRUCTION DETAILS
D3.1	ATHLETIC DETAILS
D3.2	ATHLETIC DETAILS
D4.1	IRRIGATION DETAILS

C0.0

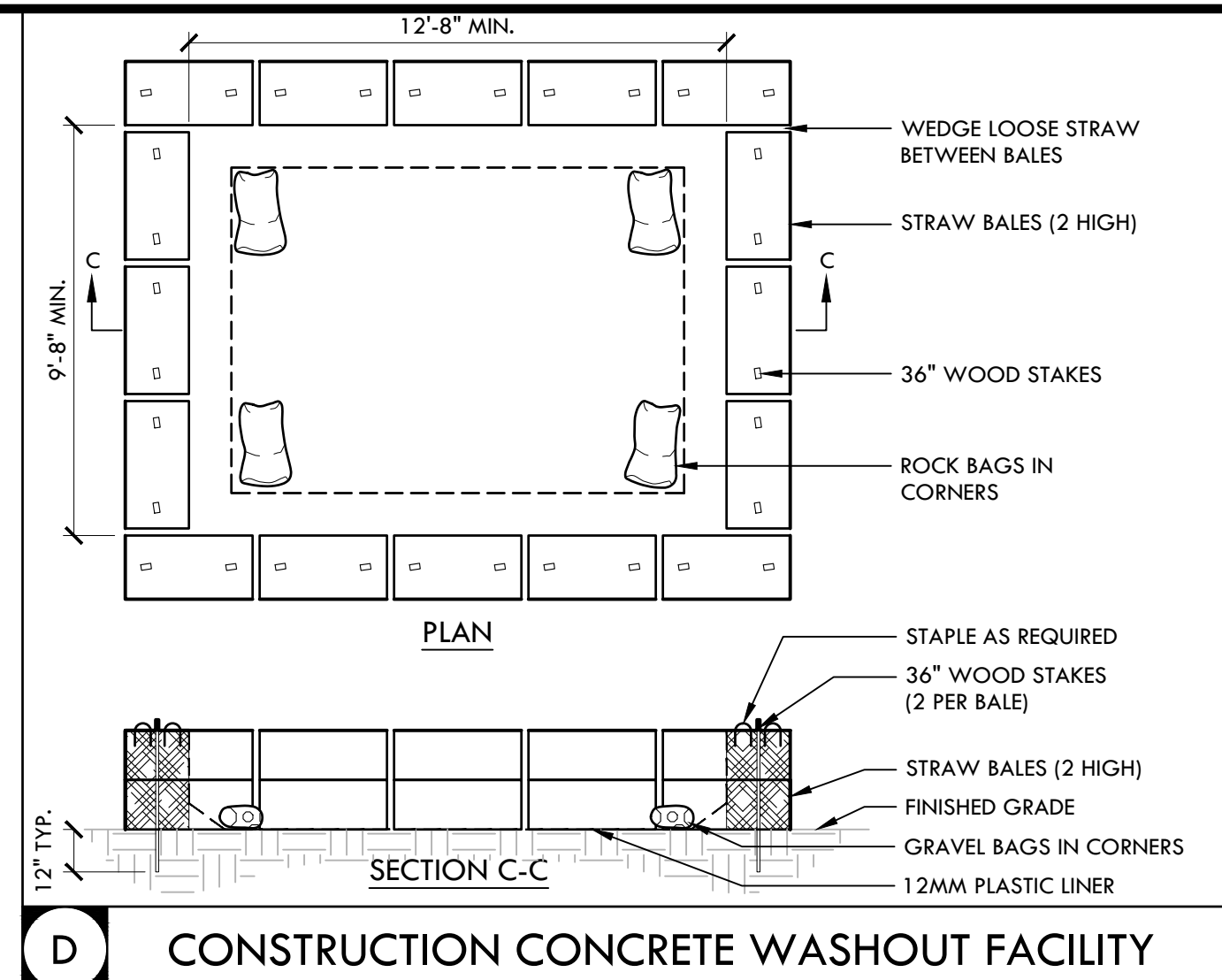
COVER SHEET

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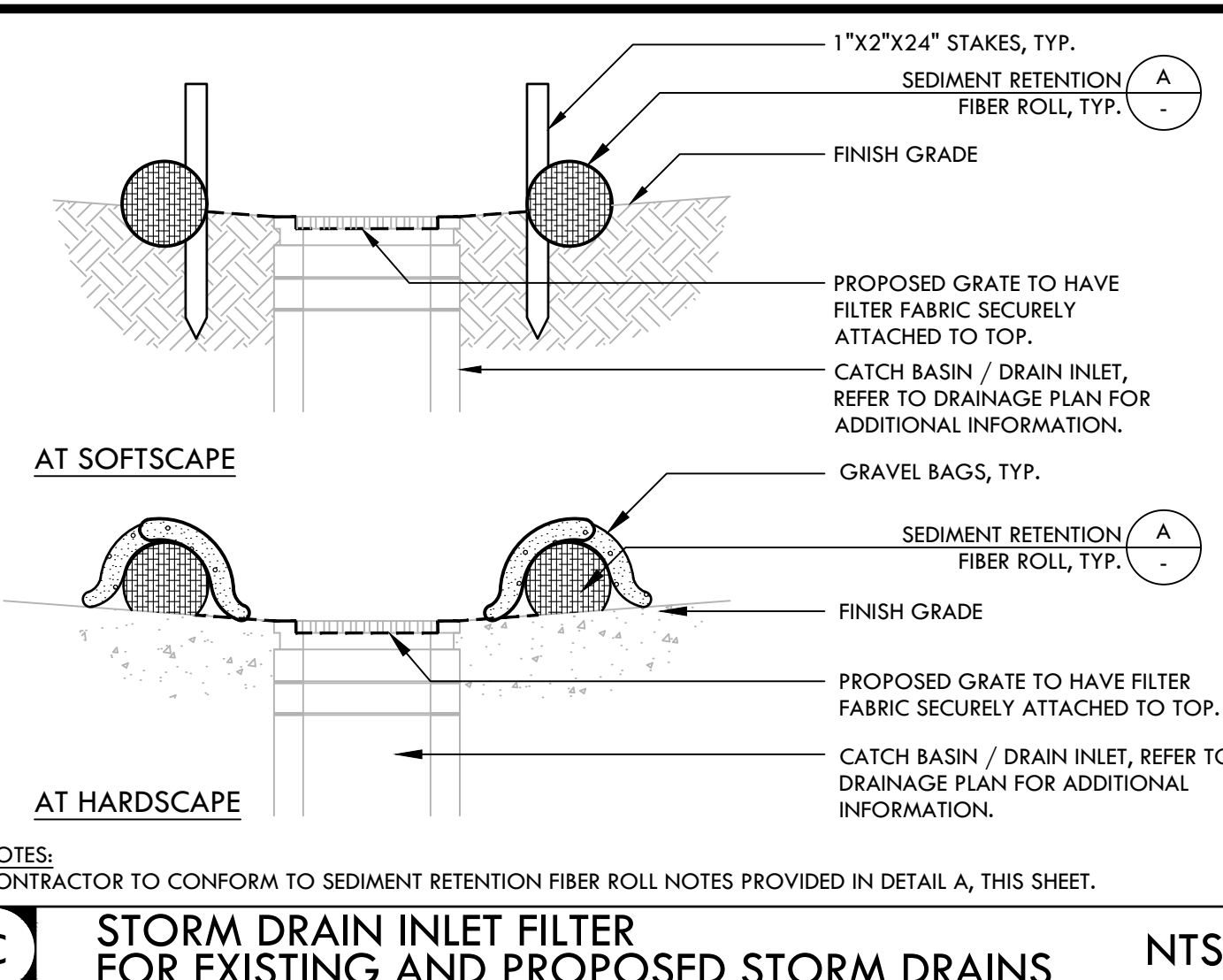
HERITAGE HIGH SCHOOL - BASEBALL INFIELD & SOFTBALL OUTFIELD IMPROVEMENTS

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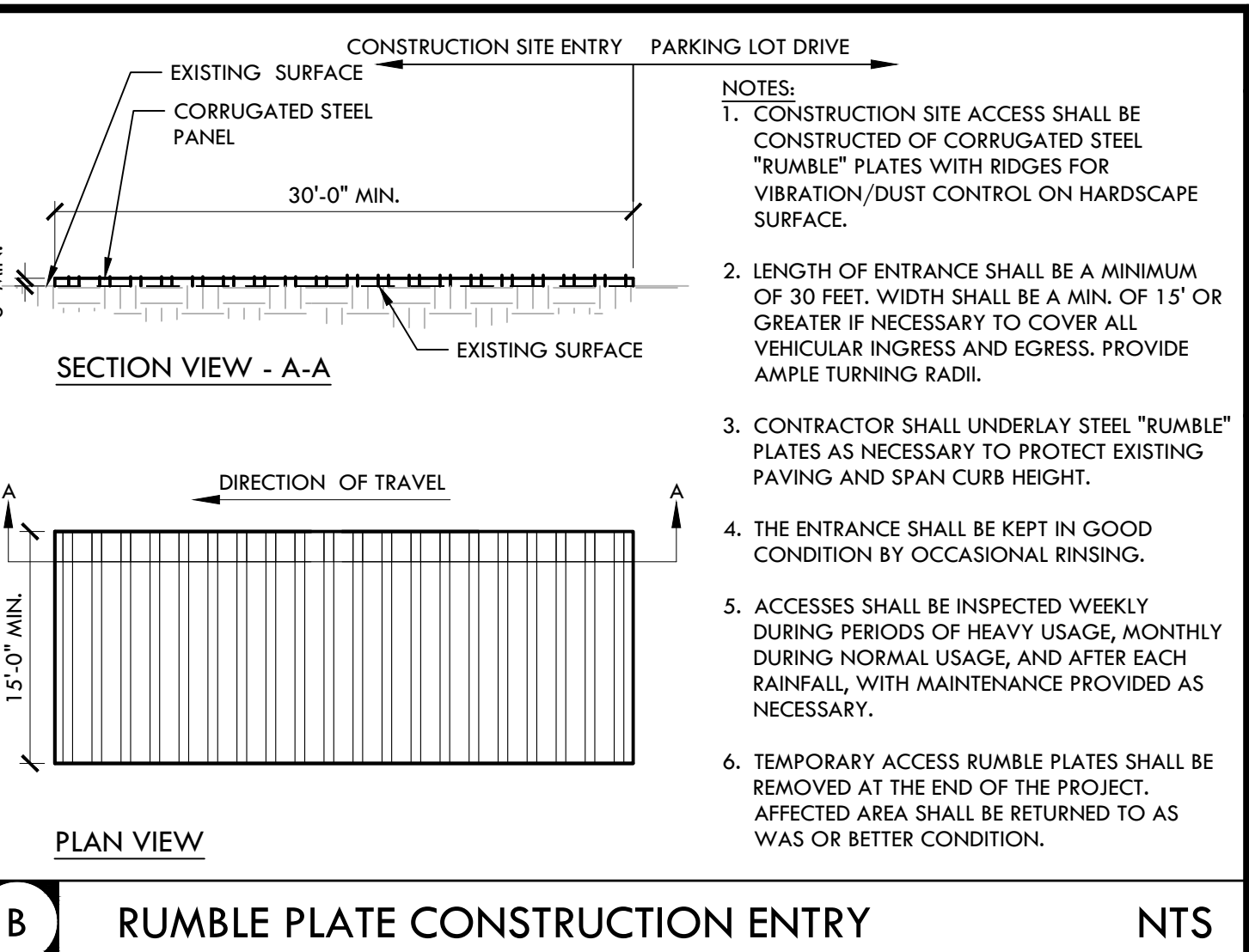
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D CONSTRUCTION CONCRETE WASHOUT FACILITY NTS



C STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS NTS



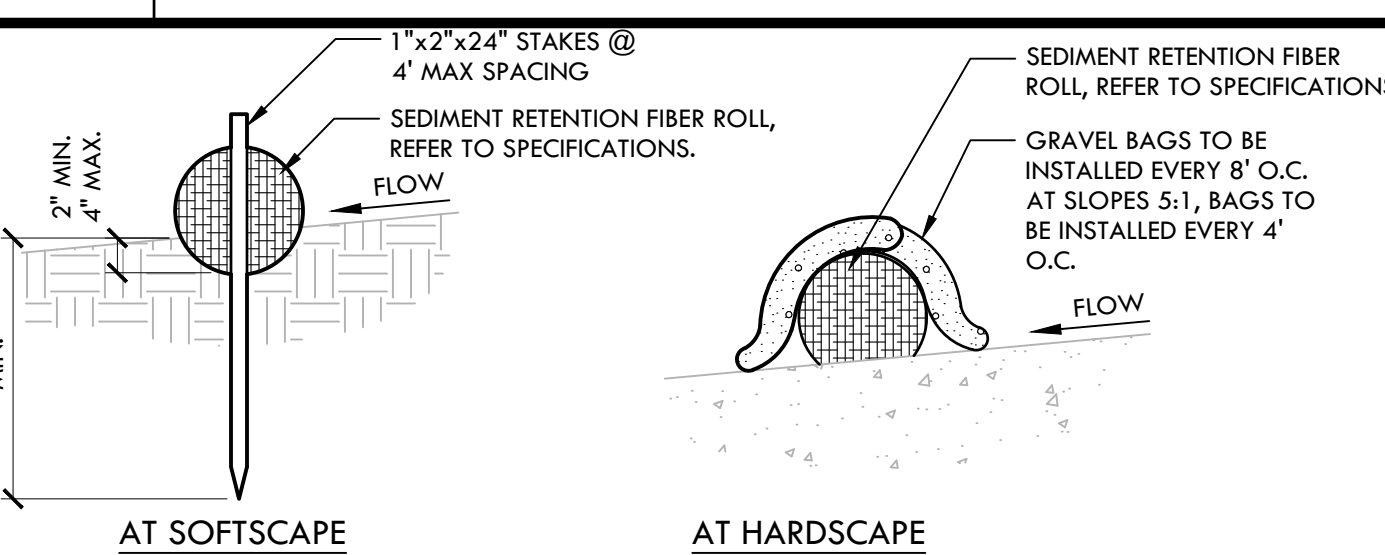
B RUMBLE PLATE CONSTRUCTION ENTRY NTS

EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY DISTRICT'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

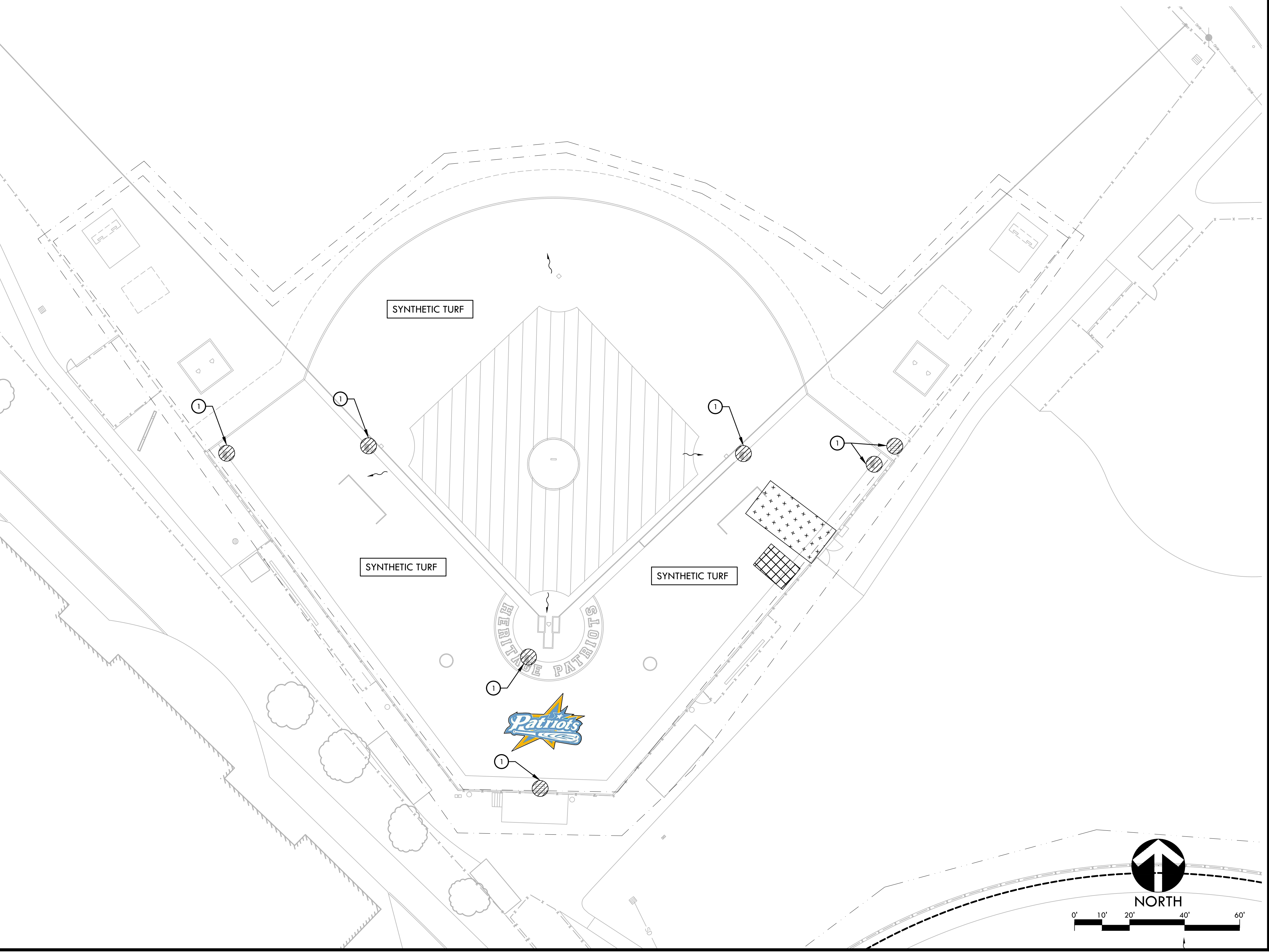
EROSION AND SEDIMENT CONTROL LEGEND

SYM	DESCRIPTION	DTL REF
①	STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS	(C)
- - - -	LIMIT OF WORK	
[Cross-hatched]	SEDIMENT RETENTION FILTER ROLL	(A) (D)
[Grid pattern]	CONSTRUCTION CONCRETE WASHOUT FACILITY	
[Dotted]	CONSTRUCTION STAGING AREA	
[Rumble plate pattern]	RUMBLE PLATE CONSTRUCTION ENTRY	(B)
~	DIRECTION OF SURFACE FLOW	



- NOTES:
1. INSTALL SEDIMENT RETENTION FIBER ROLLS (FIBER ROLLS / WATTLES) AS LOCATED ON PLANS AND AS REQUIRED PER THE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE.
 2. FIBER ROLLS SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS FLOW PATH OF POTENTIAL RUN-OFF AND RUN-ON.
 3. PREPARE GRADES REMOVING SURFACE DEVIATIONS, LARGE STONES OR DEBRIS THAT WILL INHIBIT CONTINUOUS CONTACT OF THE FIBER ROLL WITH THE GRADE.
 4. PRIOR TO FIBER ROLL INSTALLATION EXCAVATE A CONCAVE TRENCH 2" MIN., 4" MAX. DEEP ALONG THE PROPOSED FIBER ROLL LOCATION.
 5. INSTALL FIBER ROLLS WITH CONTINUOUS CONTACT OF THE BOTTOM OF THE EXCAVATED TRENCH.
 6. STAKE ROLL ON BOTH SIDES 2' FROM OF ENDS AND AT 4' MAXIMUM SPACING WITH 1"x2"x24" STAKES. DRIVE STAKES IN ON ALTERNATING SIDES OF THE ROLL AND OVERLAP ABUTTING ROLL ENDS 12" MIN.
 7. BACKFILLED BOTH SIDES TO WATTLE AND TAMP SOIL TO FIRM AND STABLE.
 8. CONTRACTOR SHALL MAKE WEEKLY INSPECTIONS OR AS INDICATED IN STORMWATER POLLUTION PREVENTION PLAN, OR THE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE.

A SEDIMENT RETENTION FIBER ROLL NTS



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STAMP

 CONSULTANT

EROSION AND SEDIMENT CONTROL PLAN BASEBALL FIELD

PROJECT NAME
HERITAGE HIGH SCHOOL BASEBALL INFIELD & SOFTBALL OUTFIELD IMPROVEMENTS

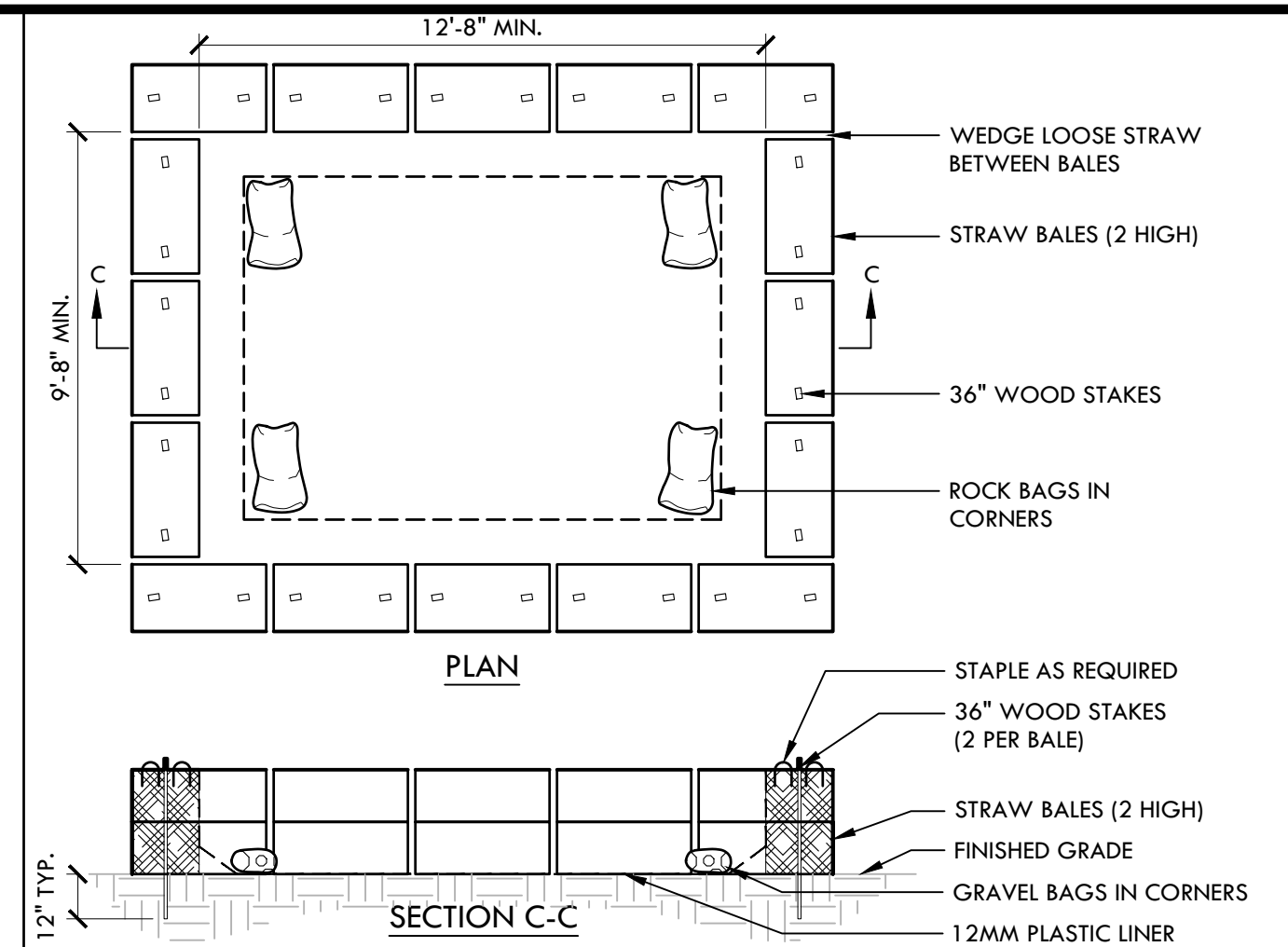
PROJECT ADDRESS
**101 AMERICAN AVE
 BRENTWOOD, CA
 94513**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

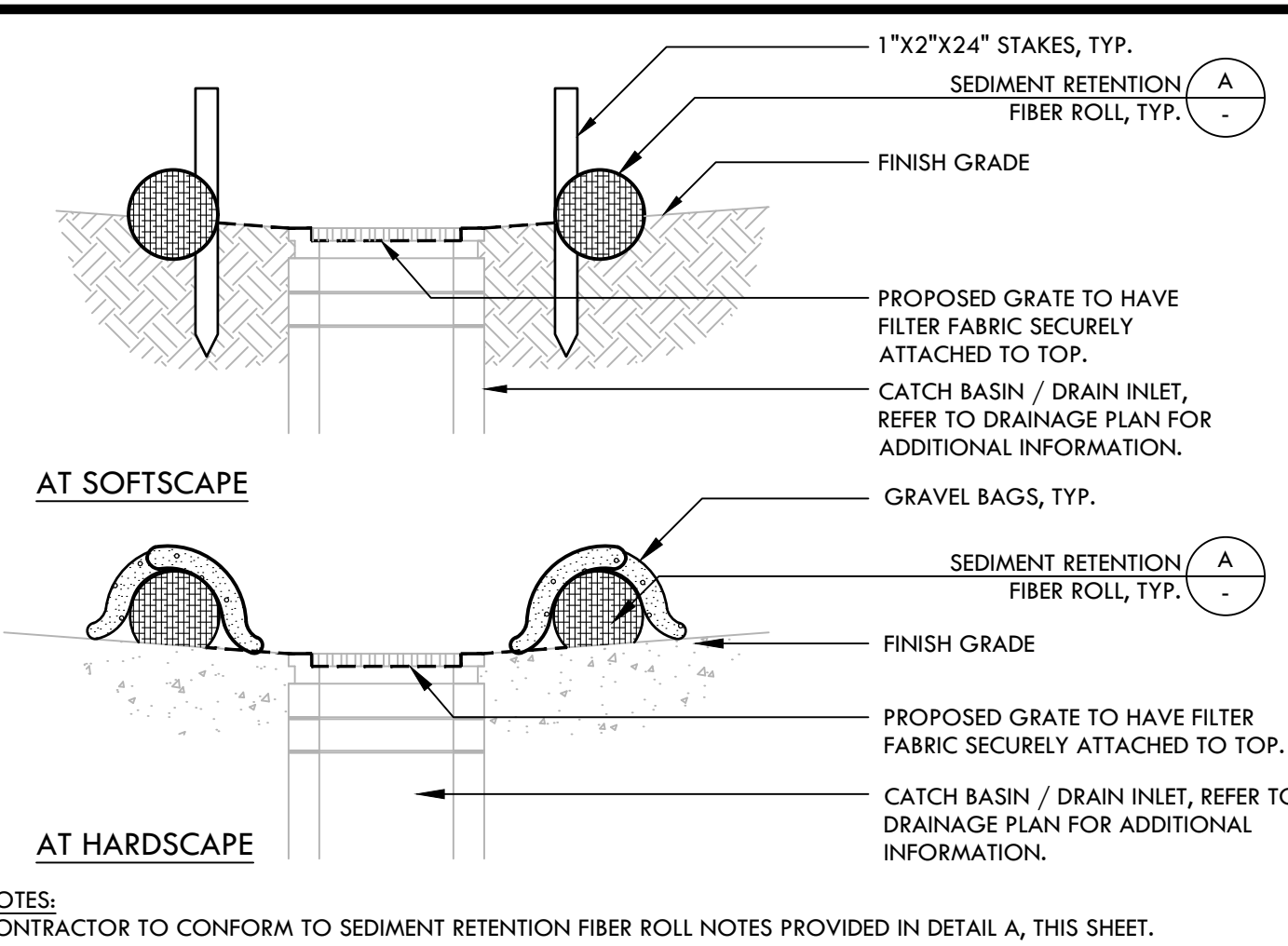
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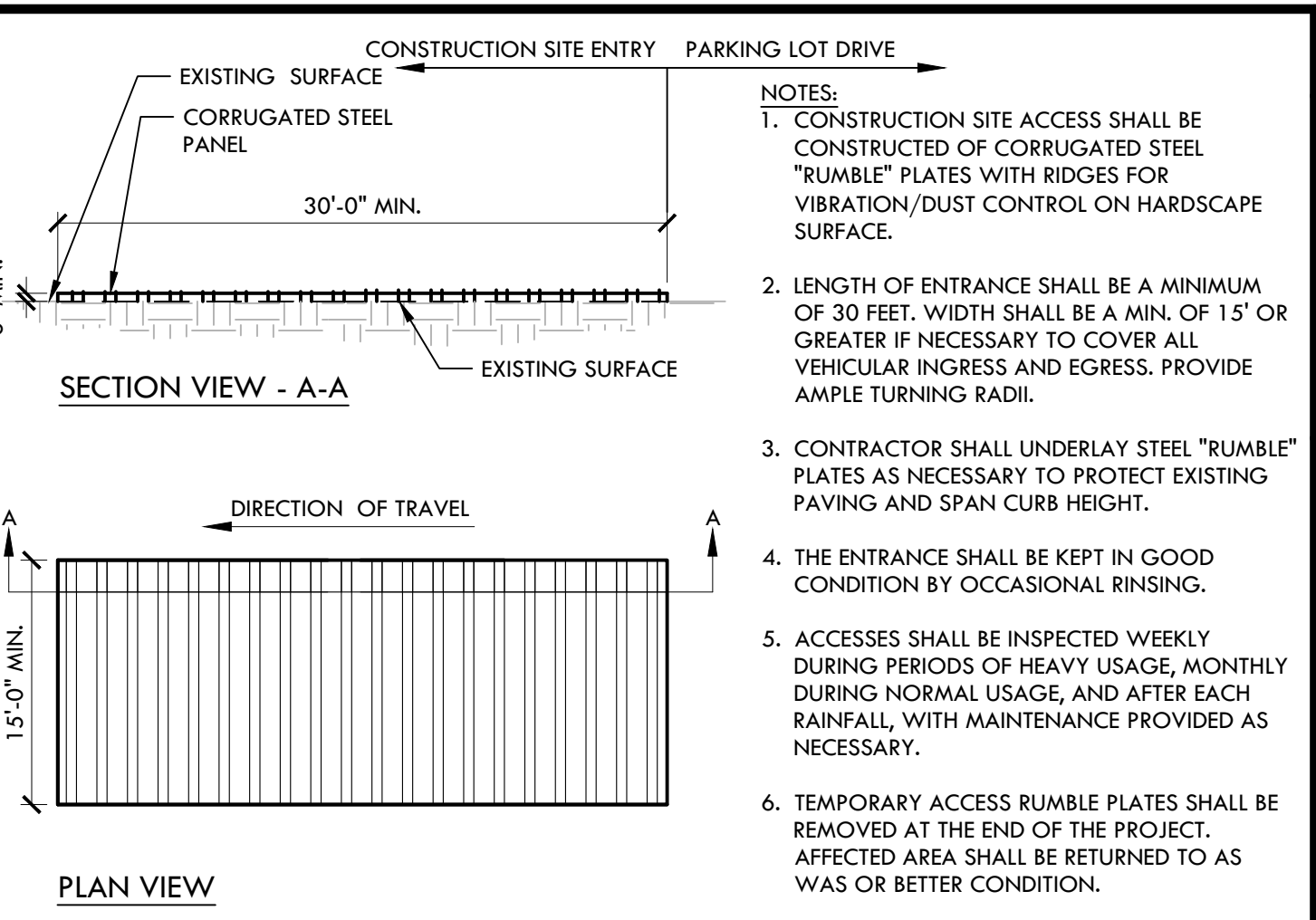
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D CONSTRUCTION CONCRETE WASHOUT FACILITY NTS



C STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS NTS



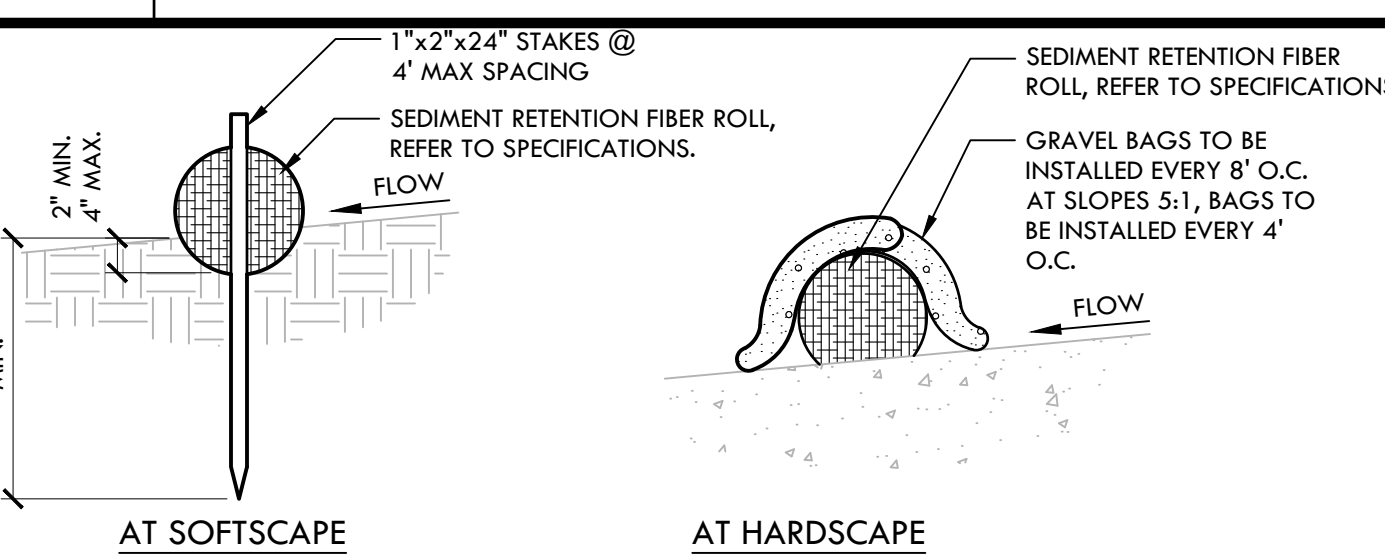
B RUMBLE PLATE CONSTRUCTION ENTRY NTS

EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY DISTRICT'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

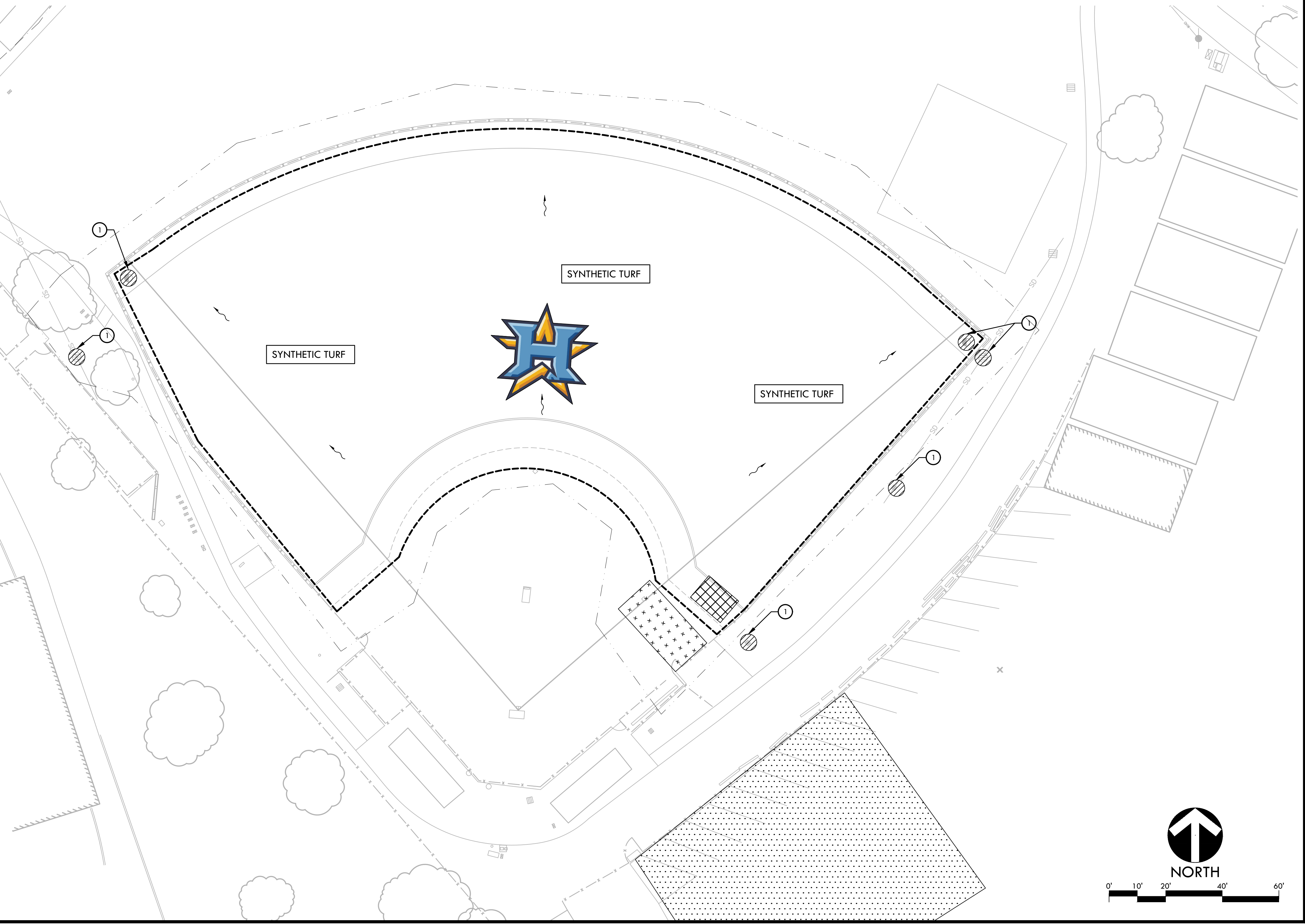
EROSION AND SEDIMENT CONTROL LEGEND

SYM	DESCRIPTION	DTL REF
①	STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS	C
---	LIMIT OF WORK	
-----	SEDIMENT RETENTION FILTER ROLL	A, D
XXXXXX	CONSTRUCTION CONCRETE WASHOUT FACILITY	
+++++	CONSTRUCTION STAGING AREA	
	RUMBLE PLATE CONSTRUCTION ENTRY	B
~	DIRECTION OF SURFACE FLOW	

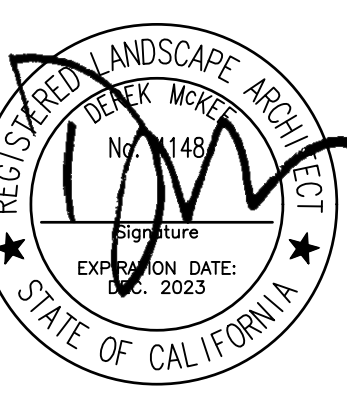


- NOTES:
1. INSTALL SEDIMENT RETENTION FIBER ROLLS (FIBER ROLLS / WATTLES) AS LOCATED ON PLANS AND AS REQUIRED PER THE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE.
 2. FIBER ROLLS SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS FLOW PATH OF POTENTIAL RUN-OFF AND RUN-ON.
 3. PREPARE GRADES REMOVING SURFACE DEVIATIONS, LARGE STONES OR DEBRIS THAT WILL INHIBIT CONTINUOUS CONTACT OF THE FIBER ROLL WITH THE GRADE.
 4. PRIOR TO FIBER ROLL INSTALLATION EXCAVATE A CONCAVE TRENCH 2" MIN., 4" MAX. DEEP ALONG THE PROPOSED FIBER ROLL LOCATION.
 5. INSTALL FIBER ROLLS WITH CONTINUOUS CONTACT OF THE BOTTOM OF THE EXCAVATED TRENCH.
 6. STAKE ROLL ON BOTH SIDES 2' FROM OF ENDS AND AT 4' MAXIMUM SPACING WITH 1"x2"x24" STAKES. DRIVE STAKES IN ON ALTERNATING SIDES OF THE ROLL AND OVERLAP ABUTTING ROLL ENDS 12" MIN.
 7. BACKFILLED BOTH SIDES TO WATTLE AND TAMP SOIL TO FIRM AND STABLE.
 8. CONTRACTOR SHALL MAKE WEEKLY INSPECTIONS OR AS INDICATED IN STORMWATER POLLUTION PREVENTION PLAN, OR THE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE.

A SEDIMENT RETENTION FIBER ROLL NTS



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STAMP

CONSULTANT

SHEET TITLE

**EROSION AND SEDIMENT CONTROL PLAN
 SOFTBALL FIELD**

PROJECT NAME

**HERITAGE HIGH SCHOOL
 BASEBALL INFIELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

PROJECT ADDRESS

**101 AMERICAN AVE
 BRENTWOOD, CA
 94513**

SUBMITTAL	DATE
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BID SUBMITTAL	05/02/22
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NO.	REVISIONS	DATE
△	ADDENDUM 1	05/13/22
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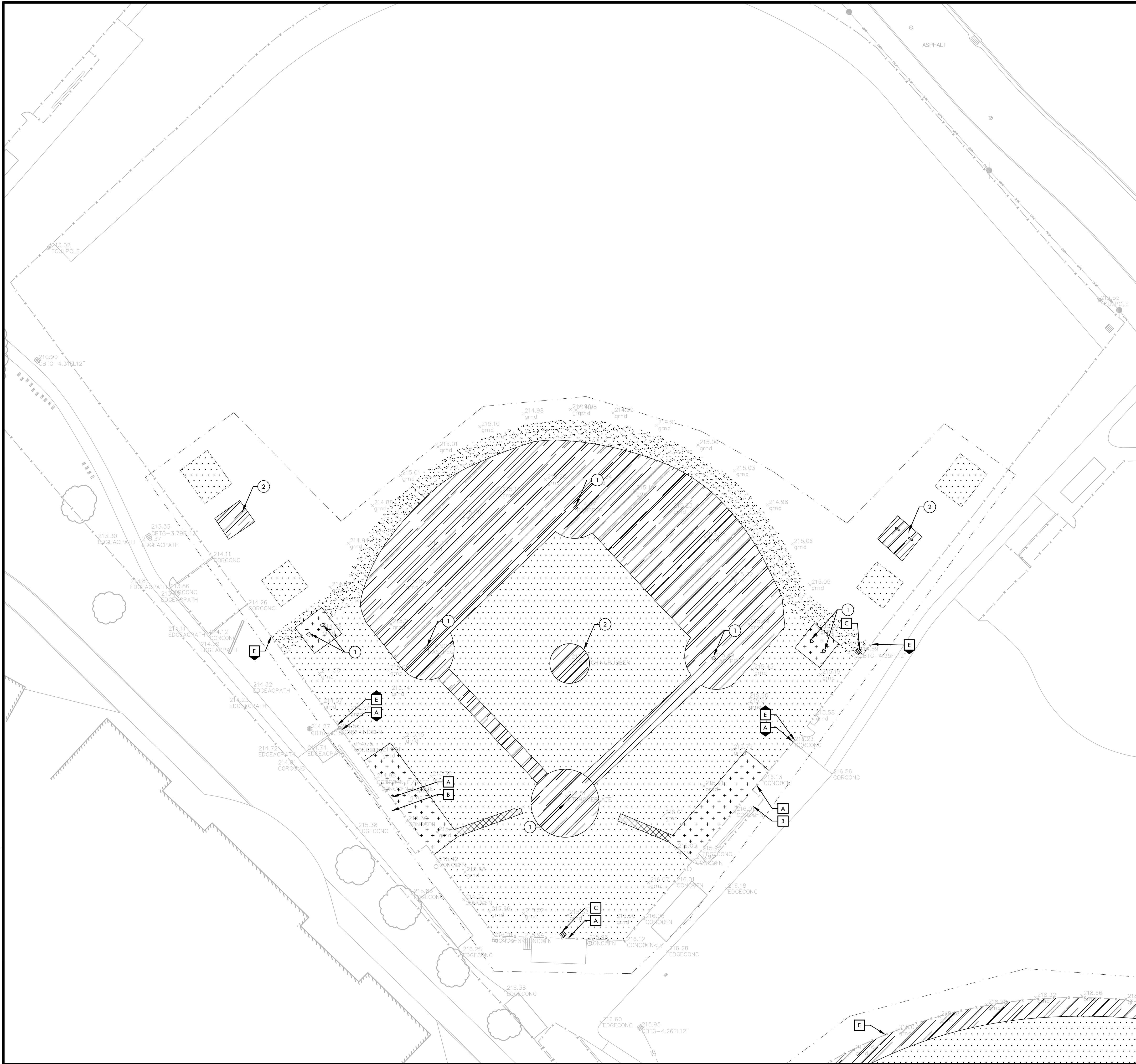
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DATE ISSUED 04/01/2022	SCALE AS NOTED
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PROJ. NO. 2111100

SHEET NO.
H-L2.2

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DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS AND SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND PROVIDE THE REQUIRED COORDINATION FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
3. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID SUBMITTAL TO DETERMINE THE EXACT EXTENT AND DEPTH OF SITE DEMOLITION REQUIRED AND VERIFY COMPLIANCE WITH DRAWINGS. THE OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
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5. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
6. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE AND SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES AS NECESSARY AND SHALL BE MINIMUM 6 FEET HIGH WITH A TOP AND BOTTOM RAIL WITH KNUCKLED TOP AND BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). FENCE SHALL INCLUDE FULL HEIGHT GREEN SHADE CLOTH COVERING. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "BLAZE ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRIP LINE OR PERIMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
8. DEMOLITION SHALL INCLUDE THE REMOVAL OF ITEM AND ANY FOUNDATION OR STRUCTURAL SUPPORT RELATED TO ITEM FOR PLANT MATERIAL THIS SHALL INCLUDE STUMPS AND ROOTS OVER 2 INCHES IN DIAMETER. DISPOSAL SHALL BE OFF-SITE IN A LEGAL MANNER ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
9. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING AND OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

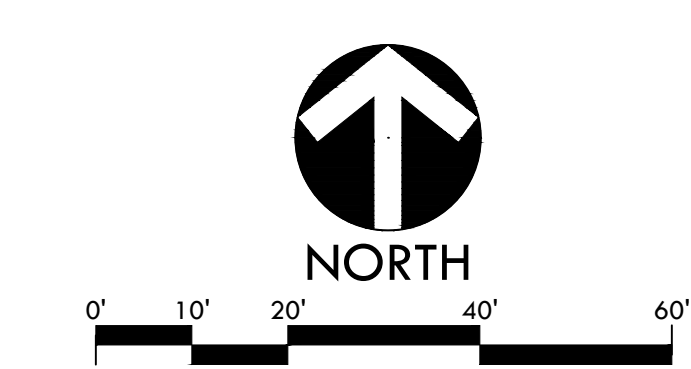
SYM	DESCRIPTION
	LIMIT OF WORK / CONSTRUCTION FENCING
	SAWCUT EXISTING PAVING
	EXISTING SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. EXISTING TOP SOIL SHALL BE REMOVED FROM SITE. REFER TO SPECIFICATIONS FOR INFORMATION. REMOVE EXCESS SOIL FROM SITE.
	EXISTING INFILL FINES (APPROXIMATE DEPTH OF 4") TO BE REMOVED AND REUSED FOR BASE LAYERS OF NEW INFILL FINES AREA. REFER TO DETAIL F, SHEET D2.1. LEFT OVER INFILL FINES TO BE DISPOSED OF.
	EXISTING SYNTHETIC TURF, INCLUDING INFILL MATERIAL, AND CARPET TO BE REMOVED. CONTRACTOR SHALL DISPOSE OF MATERIAL IN A LEGAL MANNER. EXISTING INFILL SHALL BE REMOVED FROM SITE AND MAY NOT BE REUSED ON THE NEW SYNTHETIC TURF INSTALLATION. SURFACE VEGETATION UNDERNEATH SYNTHETIC TURF TO BE REMOVED PER SPECIFICATIONS.
	EXISTING RUBBER MAT TO BE REMOVED. SURFACE VEGETATION UNDERNEATH RUBBER MAT TO BE REMOVED PER SPECIFICATIONS.
	EXISTING HARDSCAPE AND BASE MATERIAL TO BE REMOVED.
	EXISTING SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. EXISTING TOPSOIL TO REMAIN. REFER TO SPECIFICATIONS FOR INFORMATION.

ITEMS TO BE DEMOLISHED AND/OR REMOVED

- 1 EXISTING BASE/PLATE PEG TO BE REMOVED
- 2 EXISTING PITCHER'S MOUND INCLUDING PITCHER'S PLATE AND BASE TO BE DEMOLISHED AND REMOVED.

ITEMS TO BE PROTECTED OR RELOCATED

- A EXISTING FENCE TO REMAIN AND BE PROTECTED. CONTRACTOR TO CHIP DOWN TOP OF EXISTING FENCE FOOTING TO ACCOMMODATE NEW CONCRETE SUB-CURB.
- B EXISTING DUGOUT TO REMAIN AND BE PROTECTED.
- C EXISTING AREA DRAIN TO REMAIN. CONTRACTOR TO CONVERT AREA DRAIN TO JUNCTION BOX, REFER TO DETAIL G, SHEET D1.1.
- D POT HOLE AND LOCATE EXISTING STORM DRAIN LINE. EXISTING STORM DRAIN LINE TO REMAIN AND BE PROTECTED. STORM DRAIN LINE TO SERVE AS DRAINAGE POINT OF CONNECTION, REFER TO DRAINAGE PLANS, SHEET H-1.1 & H-1.2.
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SHEET TITLE
**DEMOLITION
PLAN
BASEBALL FIELD**

PROJECT NAME
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IMPROVEMENTS**

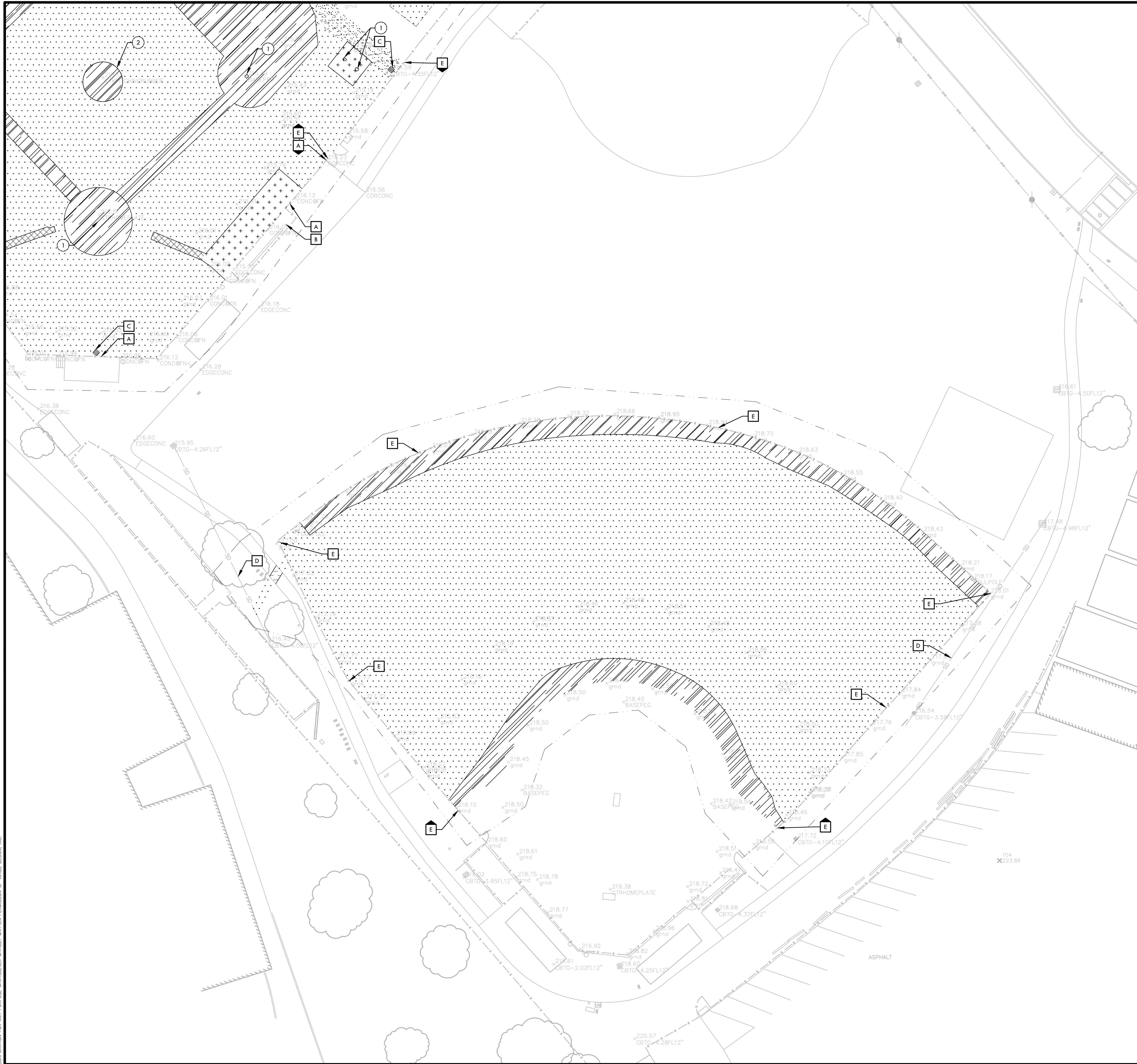
PROJECT ADDRESS
**101 AMERICAN AVE
BRENTWOOD, CA
94513**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
1	ADDENDUM 1	05/13/22

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DATE ISSUED 04/01/2022	SCALE 1"=20'-0"
PROJ. NO. 2111100	SHEET NO. H-L3.1

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DEMOLITION LEGEND

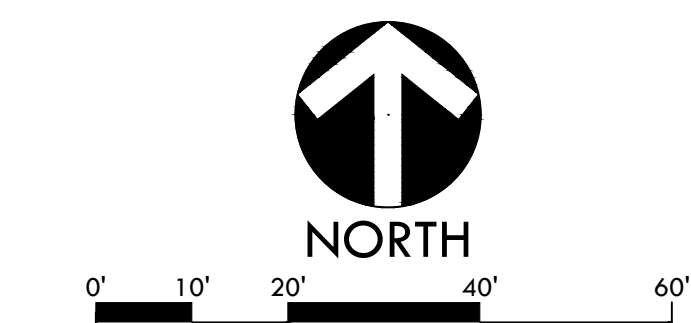
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STAMP
CONSULTANT

SHEET TITLE
**DEMOLITION PLAN
SOFTBALL FIELD**

PROJECT NAME
**HERITAGE HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

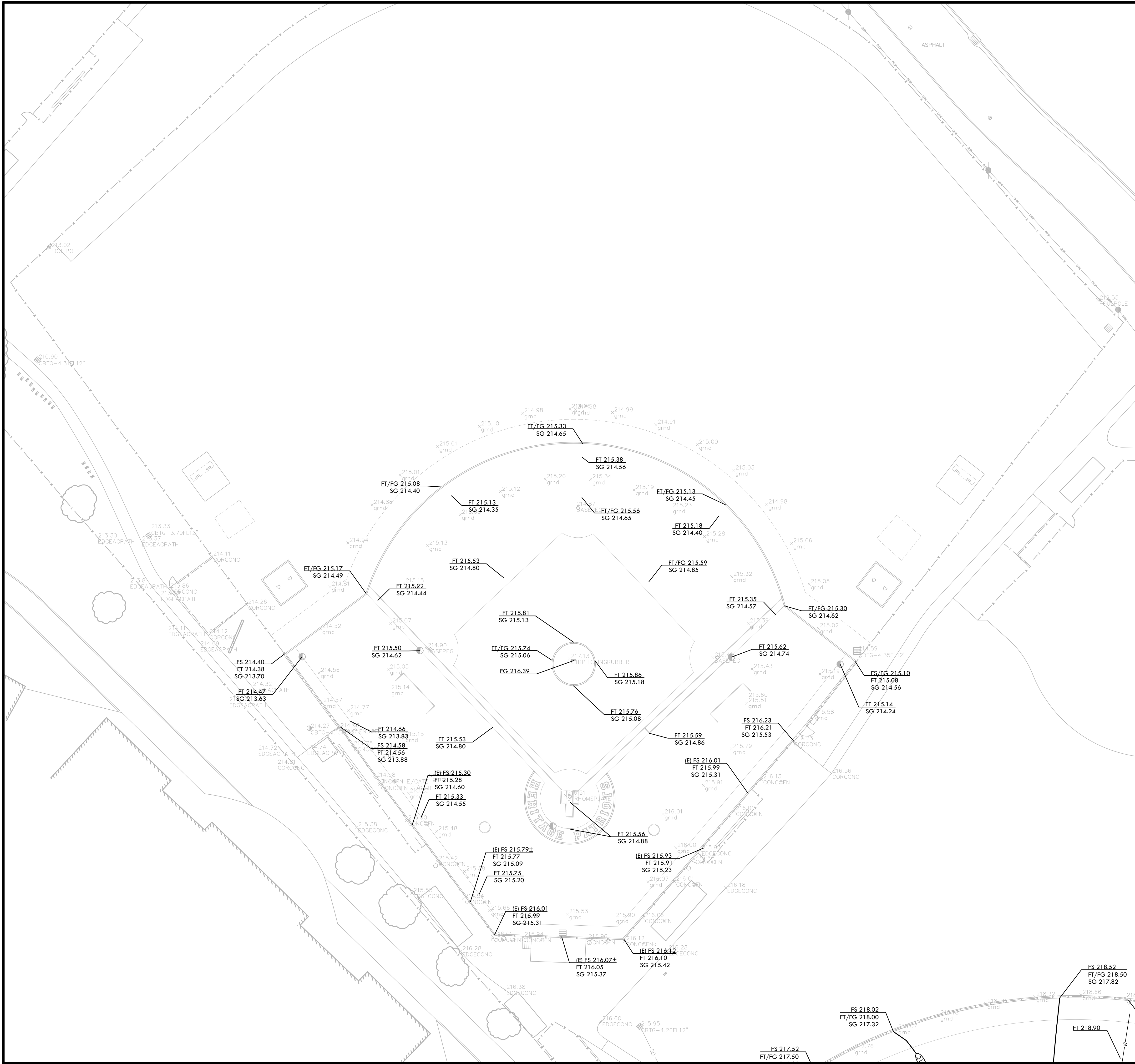
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94513**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
1	ADDENDUM 1	05/13/22

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GRADING NOTES

- EXISTING GRADES ARE BASED ON INFORMATION PROVIDED BY: CONTRACTOR SHALL VERIFY EXISTING GRADES FOR ACCURACY PRIOR TO THE START OF GRADING, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE AND REDIRECT WORK TO AVOID DELAY.
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- PROPOSED GRADES SHALL MEET EXISTING GRADES WITH A SMOOTH AND CONTINUOUS TRANSITION SO AS TO AVOID TRAPPING WATER. CONTRACTOR SHALL NOTIFY DISTRICT REPRESENTATIVE IF PUDDLING IS SUSPECTED AND REDIRECT WORK SO AS TO AVOID DELAY WHILE AWAITING RESPONSE.
- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.

GRADING LEGEND

SYM	DESCRIPTION
	PROPOSED CONTOUR
	PROPOSED SUBGRADE CONTOUR
	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
	PROPOSED ELEVATION OF TOP OF SYNTHETIC TURF INFILL
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	HIGH POINT/ HIGH POINT OF SWALE
	LOW POINT/ RIM ELEVATION OF DRAIN
	PROPOSED FINISH SUBGRADE ELEVATION
	TOP OF CURB
	TOP OF WALL
	FINISHED FLOOR ELEVATION
	TOP OF TRENCH DRAIN
	CENTER LINE OF SWALE
	CROWN OF FIELD, OR RIDGE LINE
	LOW POINT OF FIELD OR SWALE AT SUBGRADE ELEVATION
	CONFORM TO EXISTING GRADE
	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
	FLOW DIRECTION IN SOFTSCAPE
	EXISTING ELEVATION



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CONSULTANT

SHEET TITLE

GRADING PLAN BASEBALL FIELD

PROJECT NAME

HERITAGE HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS

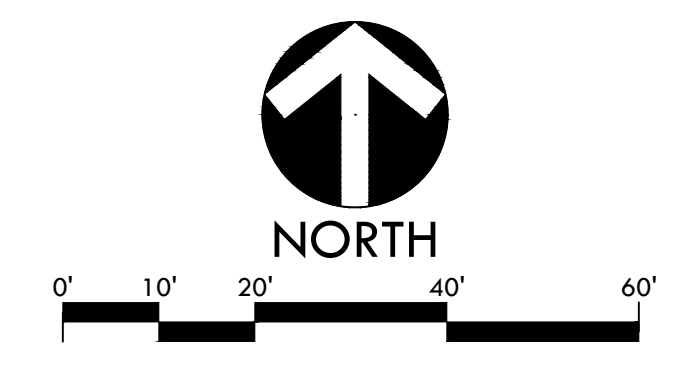
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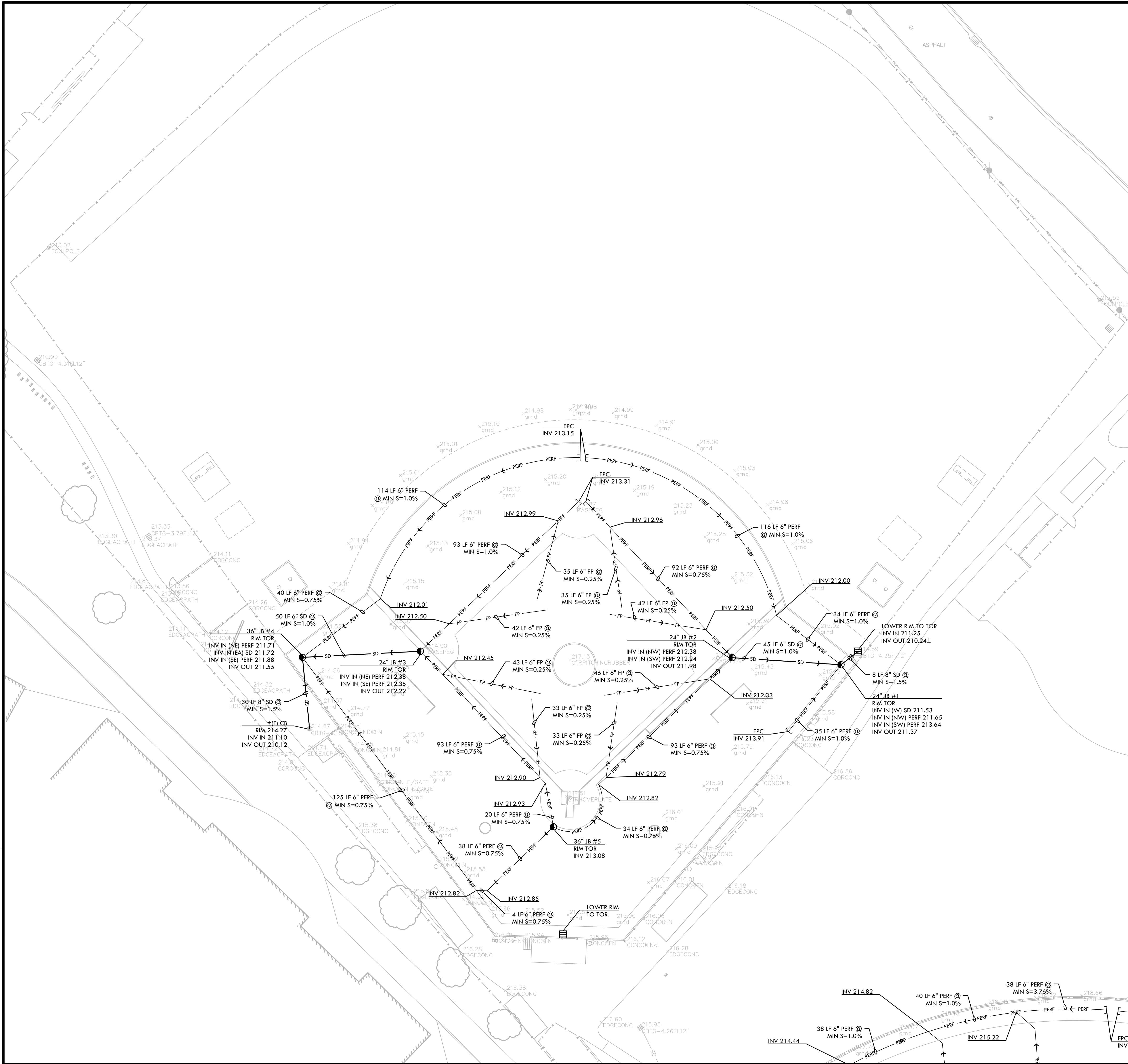
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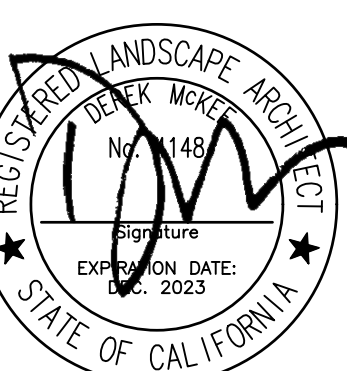


DRAINAGE & UTILITY NOTES

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2. ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. TO REMAIN, SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.
3. THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
4. COORDINATE ALL SLEEVING AND UTILITY LOCATIONS AS SHOWN ON THE PLANS AND DETAILS CONTAINED WITHIN THESE CONTRACT DOCUMENTS.
5. THE CONTRACTOR IS TO ENSURE THAT ALL REMAINING ACTIVE AND NEW DRAINAGE AND UTILITY LINES ARE PROTECTED AND UNDAMAGED FROM TRENCHING AND FOOTING EXCAVATIONS FOR NEW FOOTINGS, PARTICULARLY FOR NEW FENCING AND WALLS.
6. ALL ABANDONED STORM LINES SHALL REMAIN IN PLACE UNLESS IN CONFLICT WITH PROPOSED DRAINAGE, UTILITY, OR SUBGRADING OPERATIONS, IN WHICH CASE ABANDONED PIPE IN CONFLICT SHALL BE REMOVED. REMAINING ABANDONED STORM PIPE SHALL BE SEALED WITH APPROPRIATELY SIZED CONCRETE CAP (3 SACK MIX) 6" ENVELOPE OUTSIDE AND INSIDE DIAMETER OF PIPE.
7. PRIOR TO ALL DRAINAGE AND UTILITY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL POTENTIAL DRAINAGE CONNECTIONS AND EXISTING UTILITY BY POTHOLES. IN ADDITION, ALL DOWNSTREAM CONNECTIONS TO EXISTING STRUCTURES SHALL BE THE START OF THESE OPERATIONS, AND GRADES SHALL BE VERIFIED.
8. WHEN WORK HAS TO OCCUR UNDER THE DRIPLINE OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. ALL PARTIAL CUTS OR TEARS THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.

VERDE DESIGN
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DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER	SHEET NUMBER
⊕	CATCH BASIN, SIZE PER PLAN	B	D1.1
⊙	JUNCTION BOX, SIZE PER PLAN	C	D1.1
⊙	CLEANOUT IN SYNTHETIC TURF	D	D1.1
⊕	CONVERT EXISTING CATCH BASIN TO JUNCTION BOX IN SYNTHETIC TURF	G	D1.1
SD	SOLID WALL STORM DRAIN	A	D1.1
PERF	PERFORATED SUBDRAIN LINE	H	D1.1
FP	FLAT PANEL - BID ALTERNATE C	F	D1.1
EPC	END PIPE CAP		
(E)	EXISTING		
CB	CATCH BASIN		
INV	INVERT		
RIM	RIM ELEVATION		
TOR	TOP OF ROCK ELEVATION		
LF	LINEAR FEET		
COIT	CLEANOUT IN TURF		
COIF	CLEANOUT IN INFELD FINES		
COTG	CLEANOUT TO GRADE		
SSCO	SANITARY SEWER CLEANOUT		
S=0.5%	SLOPE		
MIN.	MINIMUM		
TD	TRENCH DRAIN ELEVATION		
N, S, W, EA,	NORTH, SOUTH, WEST, EAST		

CONSULTANT

SHEET TITLE
**DRAINAGE AND UTILITY PLAN
 BASEBALL FIELD**

PROJECT NAME
**HERITAGE HIGH SCHOOL
 BASEBALL INFELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

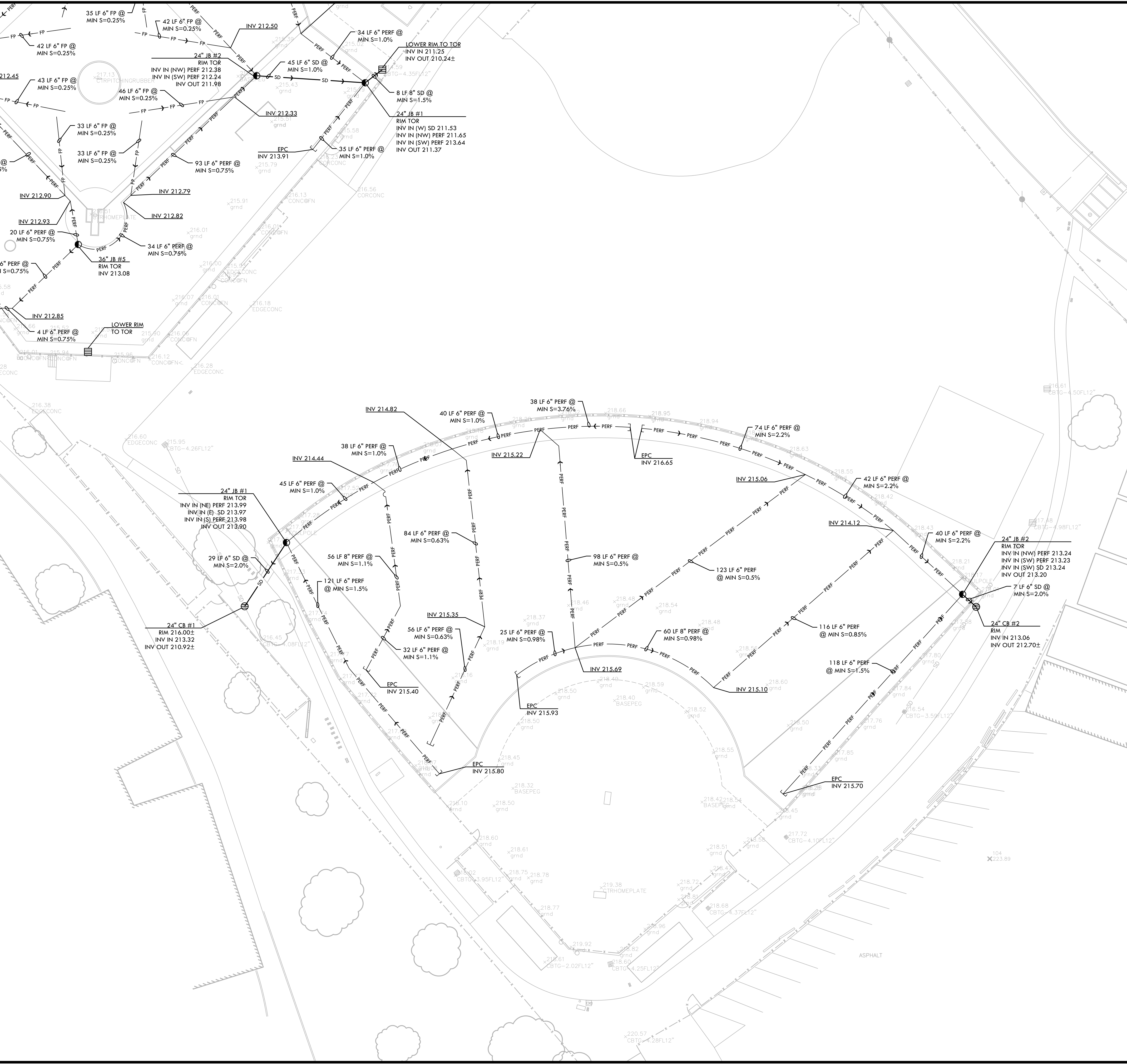
PROJECT ADDRESS
**101 AMERICAN AVE
 BRENTWOOD, CA
 94513**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
▲	ADDENDUM 1	05/13/22
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DRAWN BY NN/JJ	CHECKED BY DM
DATE ISSUED 04/01/2022	SCALE 1"=20'-0"
PROJ. NO. 2111100	
SHEET NO. H-L5.1	

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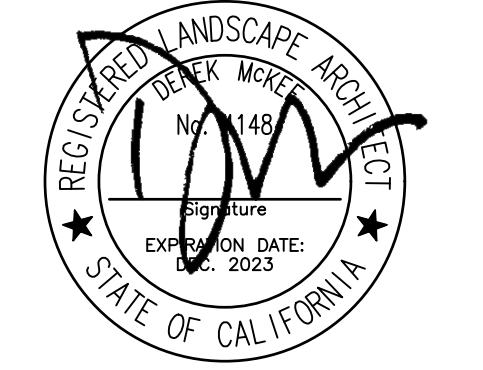
DRAINAGE & UTILITY NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES, AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DISTRICT REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDER GROUND SERVICE ALERT (USA) AT (800) 227-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
2. ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. TO REMAIN, SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.
3. THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
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DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER	SHEET NUMBER
⊕	CATCH BASIN, SIZE PER PLAN	B	D1.1
⊙	JUNCTION BOX, SIZE PER PLAN	C	D1.1
⊙	CLEANOUT IN SYNTHETIC TURF	D	D1.1
⊕	CONVERT EXISTING CATCH BASIN TO JUNCTION BOX IN SYNTHETIC TURF	G	D1.1
—	SOLID WALL STORM DRAIN	A	D1.1
—	PERFORATED SUBDRAIN LINE	H	D1.1
—	FLAT PANEL - BID ALTERNATE C	F	D1.1
EPC	END PIPE CAP		
(E)	EXISTING		
CB	CATCH BASIN		
INV	INVERT		
RIM	RIM ELEVATION		
TOR	TOP OF ROCK ELEVATION		
LF	LINEAR FEET		
COIT	CLEANOUT IN TURF		
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COTG	CLEANOUT TO GRADE		
SSCO	SANITARY SEWER CLEANOUT		
S=0.5%	SLOPE		
MIN.	MINIMUM		
TD	TRENCH DRAIN ELEVATION		
N, S, W, EA,	NORTH, SOUTH, WEST, EAST		

SHEET TITLE

**DRAINAGE AND UTILITY PLAN
 SOFTBALL FIELD**

PROJECT NAME

**HERITAGE HIGH SCHOOL
 BASEBALL INFIELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

PROJECT ADDRESS

**101 AMERICAN AVE
 BRENTWOOD, CA
 94513**

SUBMITTAL

DATE

BID SUBMITTAL

05/02/22

NO. REVISIONS DATE

△ ADDENDUM 1 05/13/22

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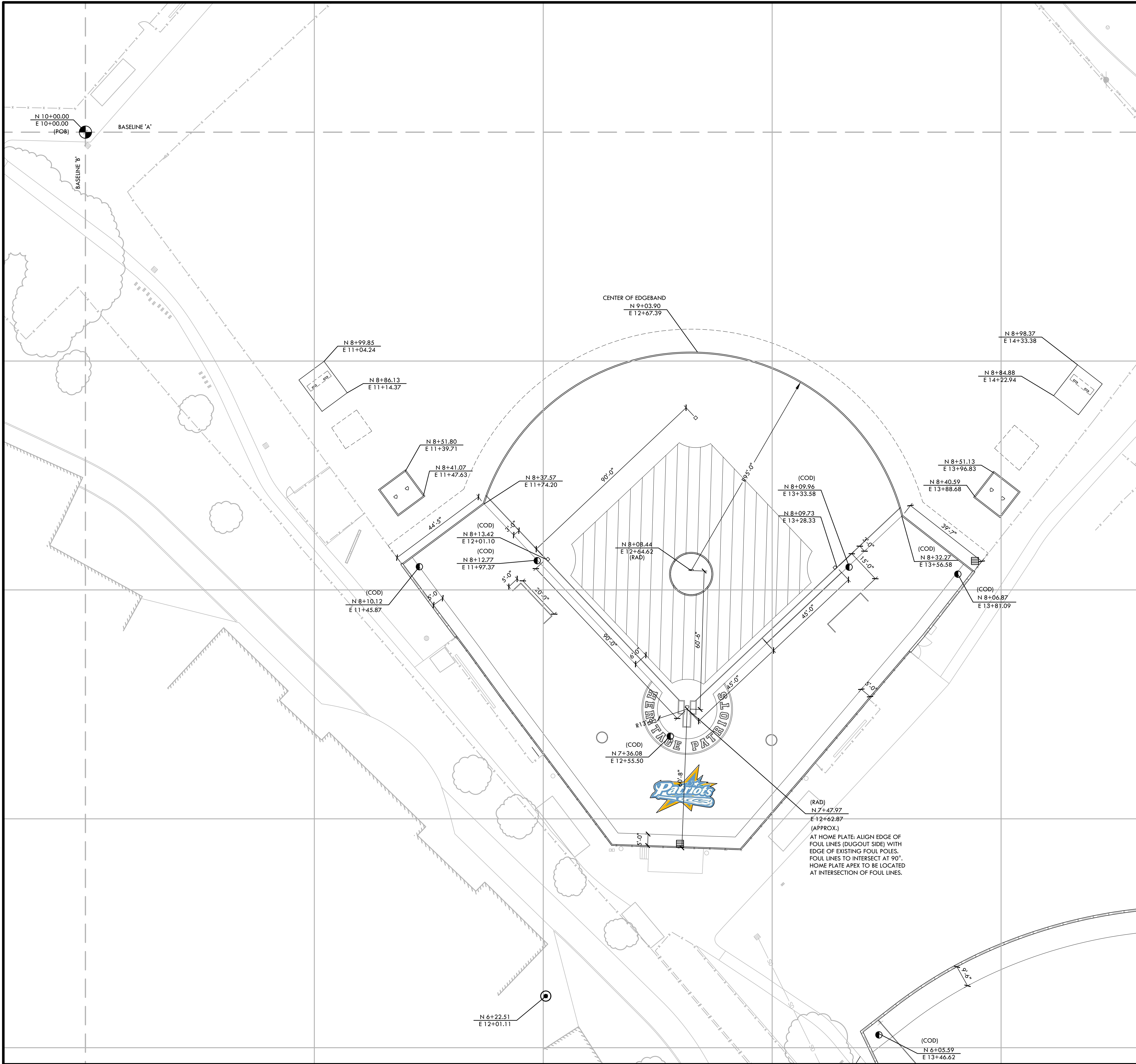
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DATE ISSUED 04/01/2022 SCALE

PROJ. NO. 2111100

SHEET NO. H-L5.2

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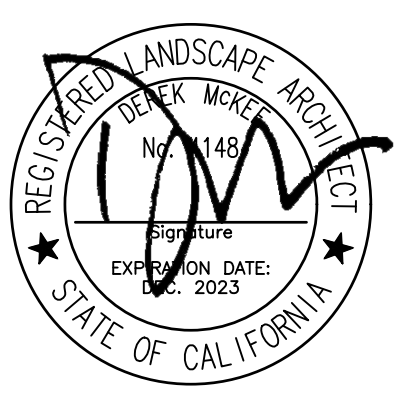
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2. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD AND CHALKED, STRING LINED OR FLAGGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MINOR ADJUSTMENTS MADE TO ACHIEVE OVERALL DESIGN LAYOUT SHALL BE ACCEPTED BY THE OWNER PRIOR TO CONSTRUCTION.
3. LAYOUT IS BASED ON THE POINT(S) OF BEGINNING (P.O.B.) AND BASELINE(S) OR GRID SYSTEM AS SHOWN. DIMENSIONS SHOWN ARE ROUNDED TO THE NEAREST INCH.
4. ALL LAYOUT AND GRADES SHALL BE COMPLETED BY A LICENSED SURVEYOR.

LAYOUT LEGEND

SYM	DESCRIPTION
	POINT OF BEGINNING SYMBOL
	CONTROL POINT
	RADIUS POINT / CENTER MARK
	PROPOSED ANGLE BETWEEN ELEMENTS
	ALIGN EDGES OF ELEMENTS
	BASELINE & GRID
	CONTROL LINE
	CENTER LINES
N 12+21.95 E 12+97.08	NORTHING/EASTING LAYOUT COORDINATE CALLOUT
(COD)	CENTER OF DRAIN - NEW JUNCTION BOX
(COP)	CENTER OF POST
(POB)	POINT OF BEGINNING FOR GRID LAYOUT
(RAD)	RADIUS POINT
(TAN)	TANGENT POINT



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CONSULTANT

SHEET TITLE

**LAYOUT
 PLAN
 BASEBALL FIELD**

PROJECT NAME

**HERITAGE HIGH SCHOOL
 BASEBALL INFIELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

PROJECT ADDRESS

**101 AMERICAN AVE
 BRENTWOOD, CA
 94513**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

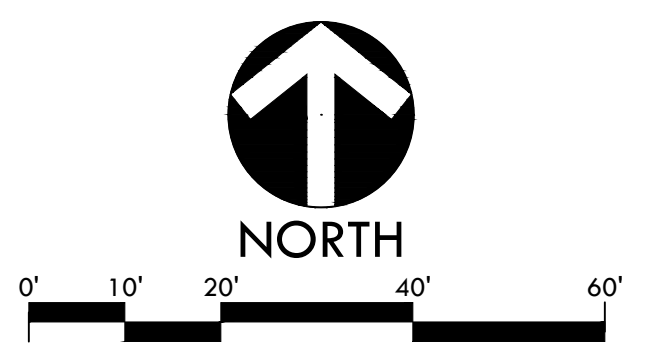
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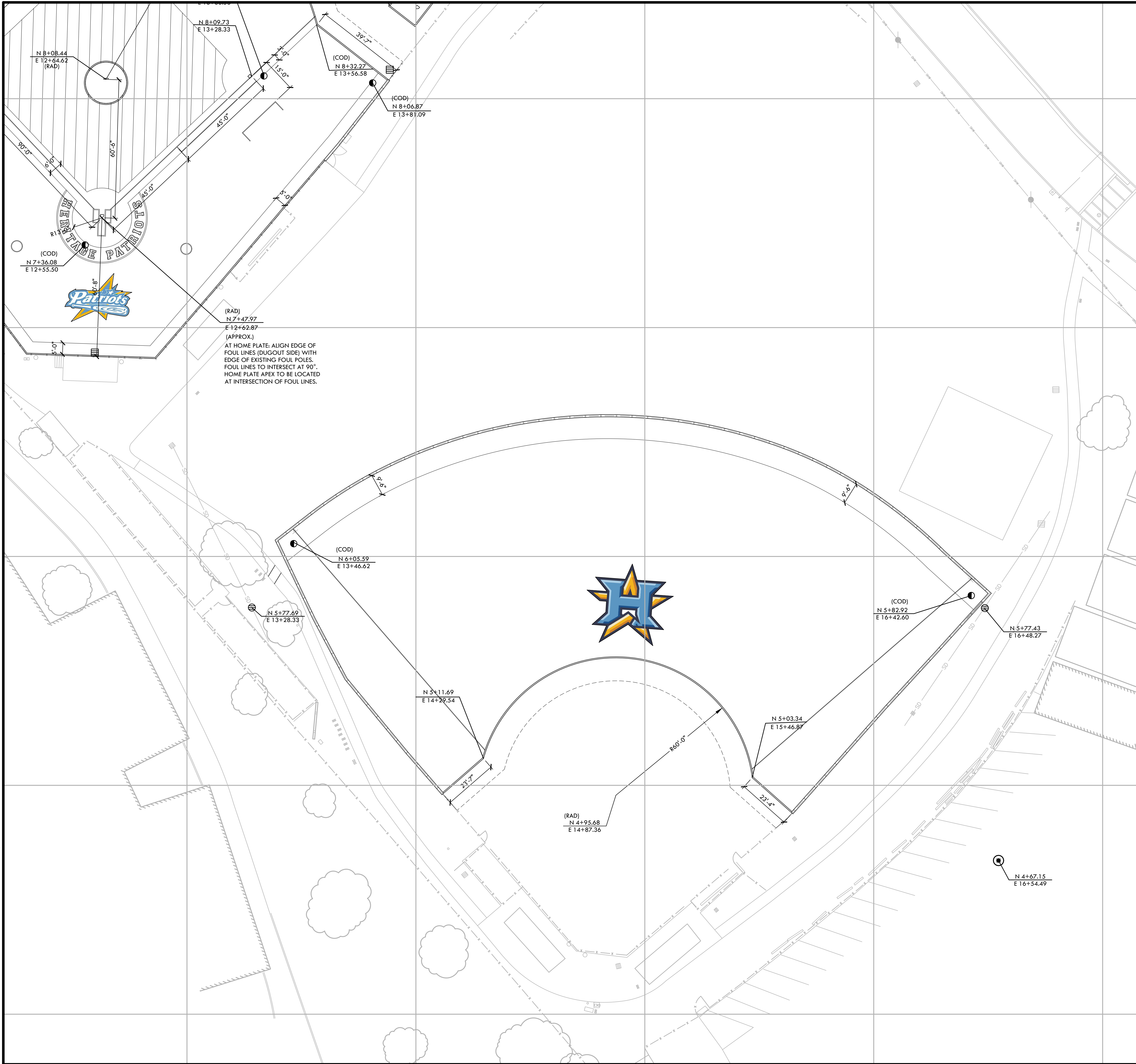
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PROJ. NO. 2111100

SHEET NO. **H-L6.1**



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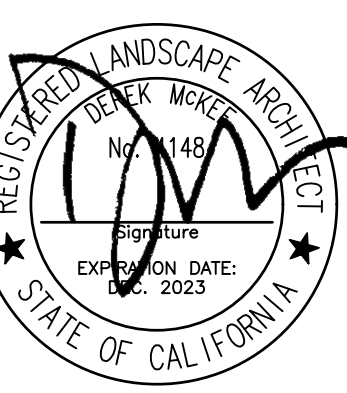


LAYOUT NOTES

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3. LAYOUT IS BASED ON THE POINT(S) OF BEGINNING (P.O.B.) AND BASELINE(S) OR GRID SYSTEM AS SHOWN. DIMENSIONS SHOWN ARE ROUNDED TO THE NEAREST INCH.
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LAYOUT LEGEND

SYM	DESCRIPTION
	POINT OF BEGINNING SYMBOL
	CONTROL POINT
	RADIUS POINT / CENTER MARK
	PROPOSED ANGLE BETWEEN ELEMENTS
	ALIGN EDGES OF ELEMENTS
	BASELINE & GRID
	CONTROL LINE
	CENTER LINES
	NORTHING/EASTING LAYOUT COORDINATE CALLOUT
	CENTER OF DRAIN - NEW JUNCTION BOX
	CENTER OF POST
	POINT OF BEGINNING FOR GRID LAYOUT
	RADIUS POINT
	TANGENT POINT



STAMP

CONSULTANT

SHEET TITLE

LAYOUT PLAN
SOFTBALL FIELD

PROJECT NAME

HERITAGE HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS

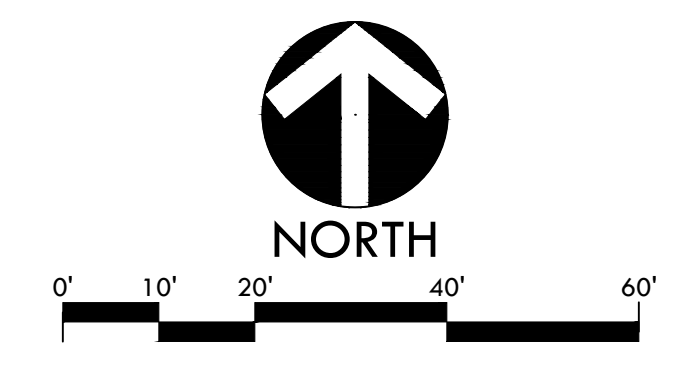
PROJECT ADDRESS

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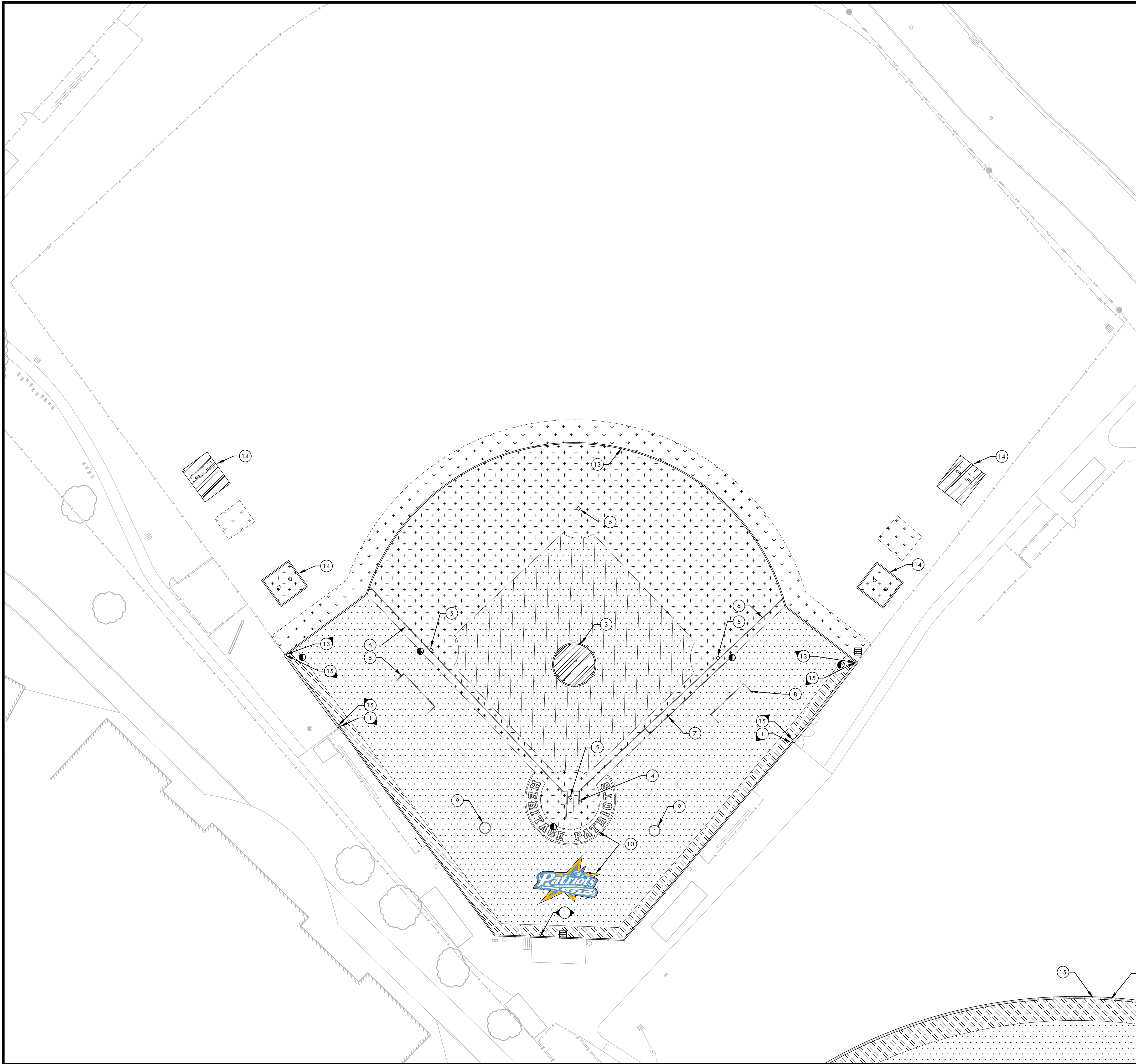
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BID SUBMITTAL	05/02/22

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MATERIAL NOTES

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2. THE INTERFACE OF ALL PROPOSED IMPROVEMENTS TO EXISTING SITE SHALL CONFORM AND BE SMOOTH AND UNIFORM.
3. ALL REINFORCING AND FORMS SHALL BE SECURED IN PLACE AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING ANY CONCRETE.
4. ASPHALT SHALL NOT BE INSTALLED UNTIL ALL EDGES AND SITE FURNISHING PADS ARE INSTALLED.

MATERIAL LEGEND

SYM	DESCRIPTION	DTL REF
	NATURAL TURF - SOD REFER TO SPECIFICATIONS	
	CLAY	F D2.1
	2" GREEN SYNTHETIC TURF - REFER TO SPECIFICATIONS	E D2.1
	2" BROWN WARNING TRACK SYNTHETIC TURF - REFER TO SPECIFICATIONS	E D2.1
	2" BROWN SYNTHETIC TURF - REFER TO SPECIFICATIONS	E D2.1
	ASPHALT PAVING - REFER TO SPECIFICATIONS	I D2.1
1	CONCRETE SUB-CURB - SYNTHETIC TURF CONNECTION	C D2.1
2	6" WIDE SYNTHETIC TURF EDGE BAND AT INFIELD FINES	D D2.1
3	BASEBALL PITCHER'S MOUND	B D3.1
4	HOME PLATE AREA - REFER TO SPECIFICATIONS	A,C,E D3.1
5	BASES - REFER TO SPECIFICATIONS BASE PAD LOCATION WITH SINGLE ANCHOR BASE SLEEVE	D,F D3.1
6	FOUL LINE STRIPING	
7	RUNNER'S LANE STRIPING	A D3.1
8	COACHES' BOX STRIPING	A D3.1
9	ON DECK CIRCLE STRIPING	A D3.1
10	BASEBALL HOME PLATE LOGOS	C D3.2
11	SOFTBALL OUTFIELD LOGO	C D3.2
12	OUTFIELD DISTANCE MARKER	G D3.1
13	6" WIDE SYNTHETIC TURF EDGE BAND AT NATURAL TURF	H D2.1
14	BASEBALL BULLPEN	A D3.2
15	12" WIDE SYNTHETIC TURF EDGE BAND AT EXISTING FENCE	H D2.1



CONSULTANT

SHEET TITLE
**MATERIAL AND
DETAIL REFERENCE
PLAN
BASEBALL FIELD**

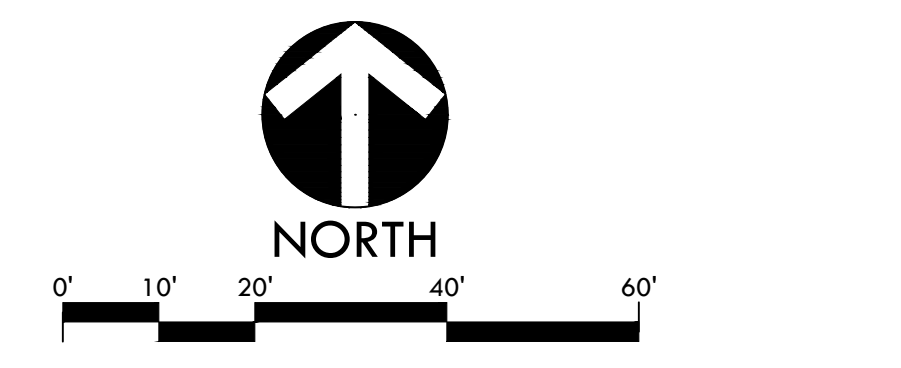
PROJECT NAME
**HERITAGE HIGH SCHOOL
BASEBALL INFIELD &
SOFTBALL OUTFIELD
IMPROVEMENTS**

PROJECT ADDRESS
**101 AMERICAN AVE
BRENTWOOD, CA
94513**

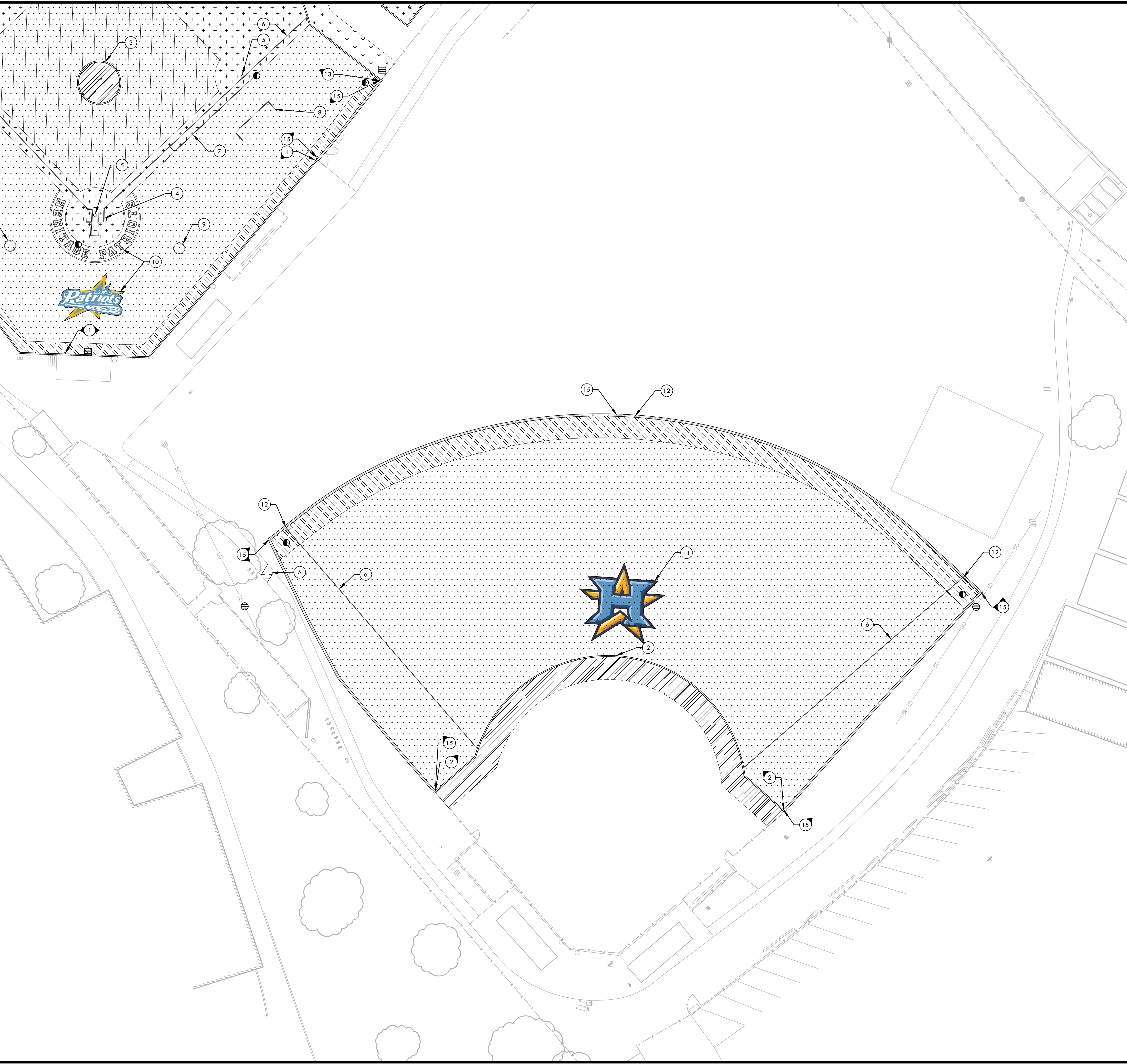
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MATERIAL NOTES

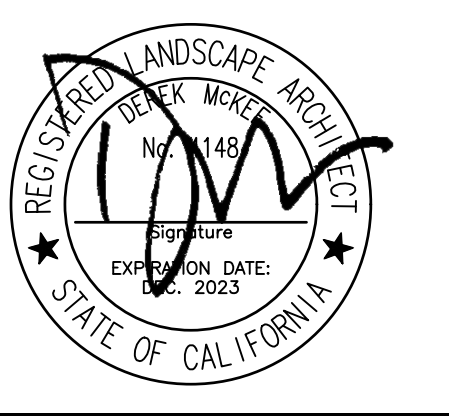
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MATERIAL LEGEND

SYM	DESCRIPTION	DTL REF
(Image: Dotted pattern)	NATURAL TURF - SOD REFER TO SPECIFICATIONS	
(Image: Diagonal lines)	CLAY	F D2.1
(Image: Dotted pattern)	2" GREEN SYNTHETIC TURF - REFER TO SPECIFICATIONS	E D2.1
(Image: Diagonal lines)	2" BROWN WARNING TRACK SYNTHETIC TURF - REFER TO SPECIFICATIONS	E D2.1
(Image: Dotted pattern)	2" BROWN SYNTHETIC TURF - REFER TO SPECIFICATIONS	E D2.1
(Image: Dashed pattern)	ASPHALT PAVING - REFER TO SPECIFICATIONS	I D2.1
1	CONCRETE SUB-CURB - SYNTHETIC TURF CONNECTION	C D2.1
2	6" WIDE SYNTHETIC TURF EDGE BAND AT INFIELD FINES	D D2.1
3	BASEBALL PITCHER'S MOUND	B D3.1
4	HOME PLATE AREA - REFER TO SPECIFICATIONS	A,C,E D3.1
5	BASES - REFER TO SPECIFICATIONS BASE PAD LOCATION WITH SINGLE ANCHOR BASE SLEEVE	B,F D3.1
6	FOUL LINE STRIPING	
7	RUNNER'S LANE STRIPING	A D3.1
8	COACHES' BOX STRIPING	A D3.1
9	ON DECK CIRCLE STRIPING	A D3.1
10	BASEBALL HOME PLATE LOGOS	C D3.2
11	SOFTBALL OUTFIELD LOGO	C D3.2
12	OUTFIELD DISTANCE MARKER	G D3.1
13	6" WIDE SYNTHETIC TURF EDGE BAND AT NATURAL TURF	H D2.1
14	BASEBALL BULLPEN	A D3.2
15	12" WIDE SYNTHETIC TURF EDGE BAND AT EXISTING FENCE	H D2.1

VERDE DESIGN
 LANDSCAPE ARCHITECTURE
 CIVIL ENGINEERING
 SPORT PLANNING & DESIGN

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STAMP

CONSULTANT

SHEET TITLE

**MATERIALS AND
 DETAIL REFERENCE
 PLAN
 SOFTBALL FIELD**

PROJECT NAME

**HERITAGE HIGH SCHOOL
 BASEBALL INFIELD &
 SOFTBALL OUTFIELD
 IMPROVEMENTS**

PROJECT ADDRESS

**101 AMERICAN AVE
 BRENTWOOD, CA
 94513**

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

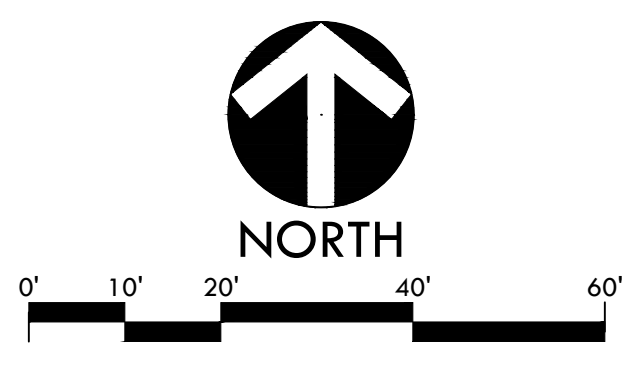
NO.	REVISIONS	DATE
△	ADDENDUM 1	05/13/22
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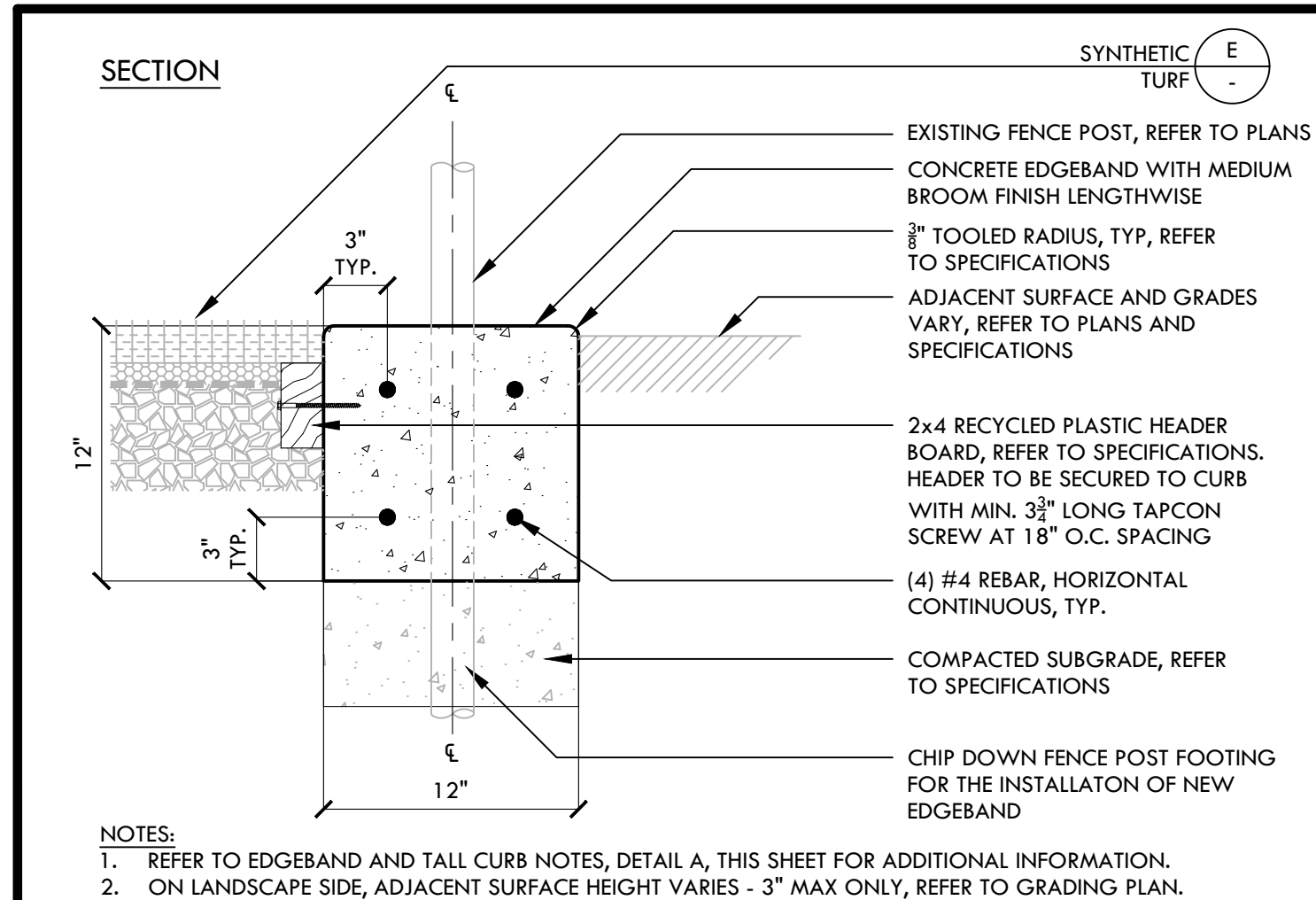
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 CHECKED BY: DM

DATE ISSUED: 04/01/2022
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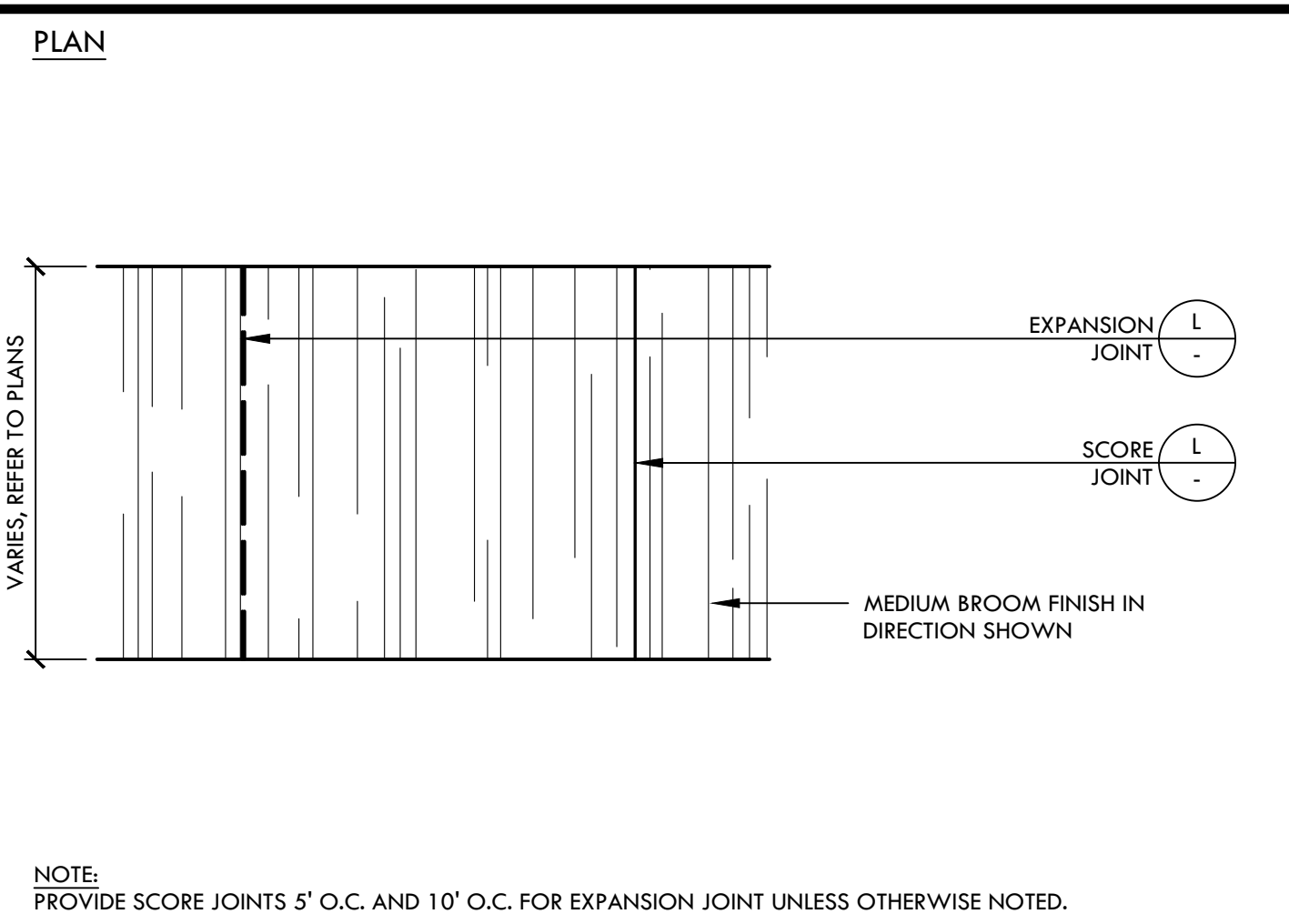
PROJ. NO.: 2111100

SHEET NO.: H-L7.2

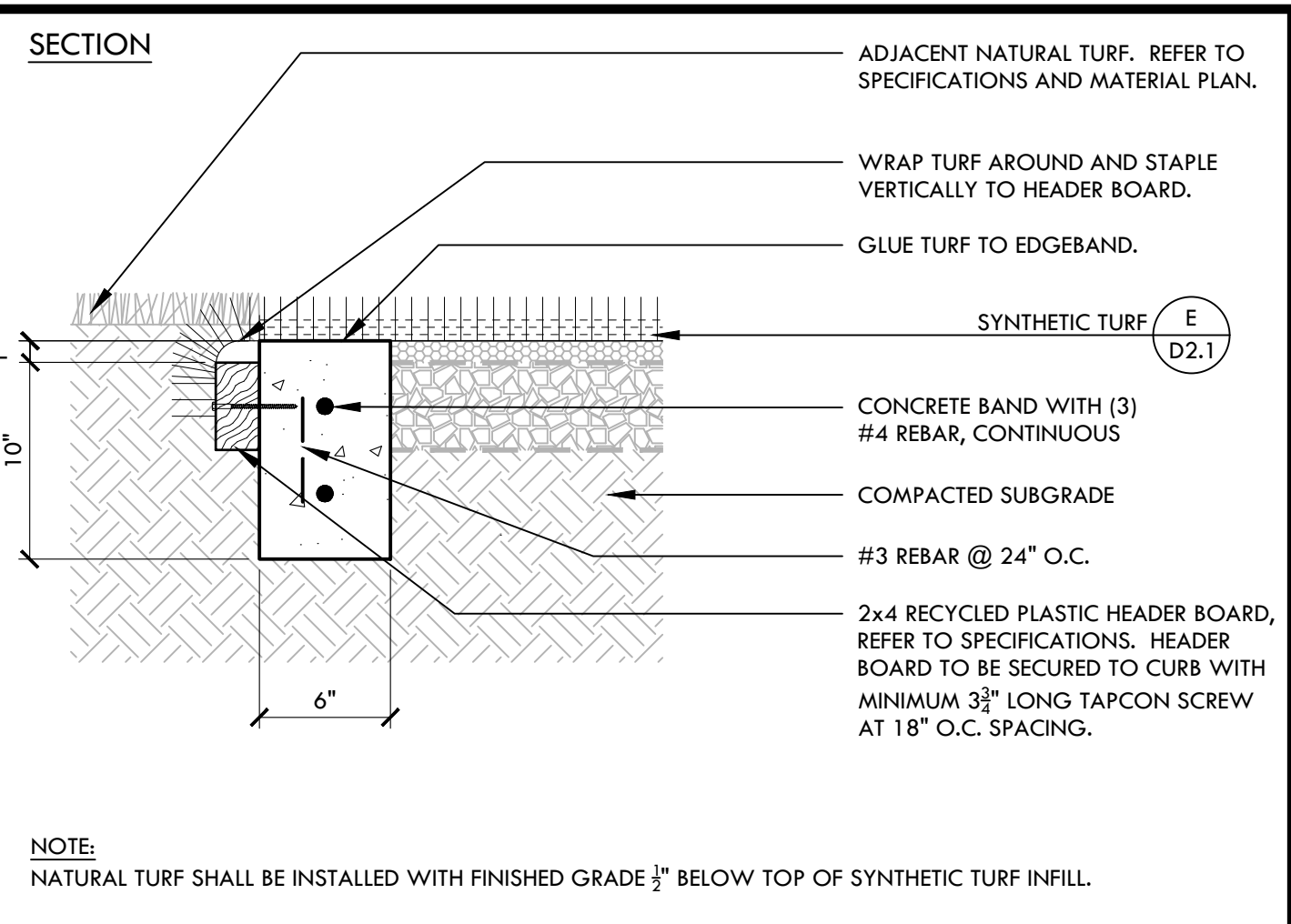




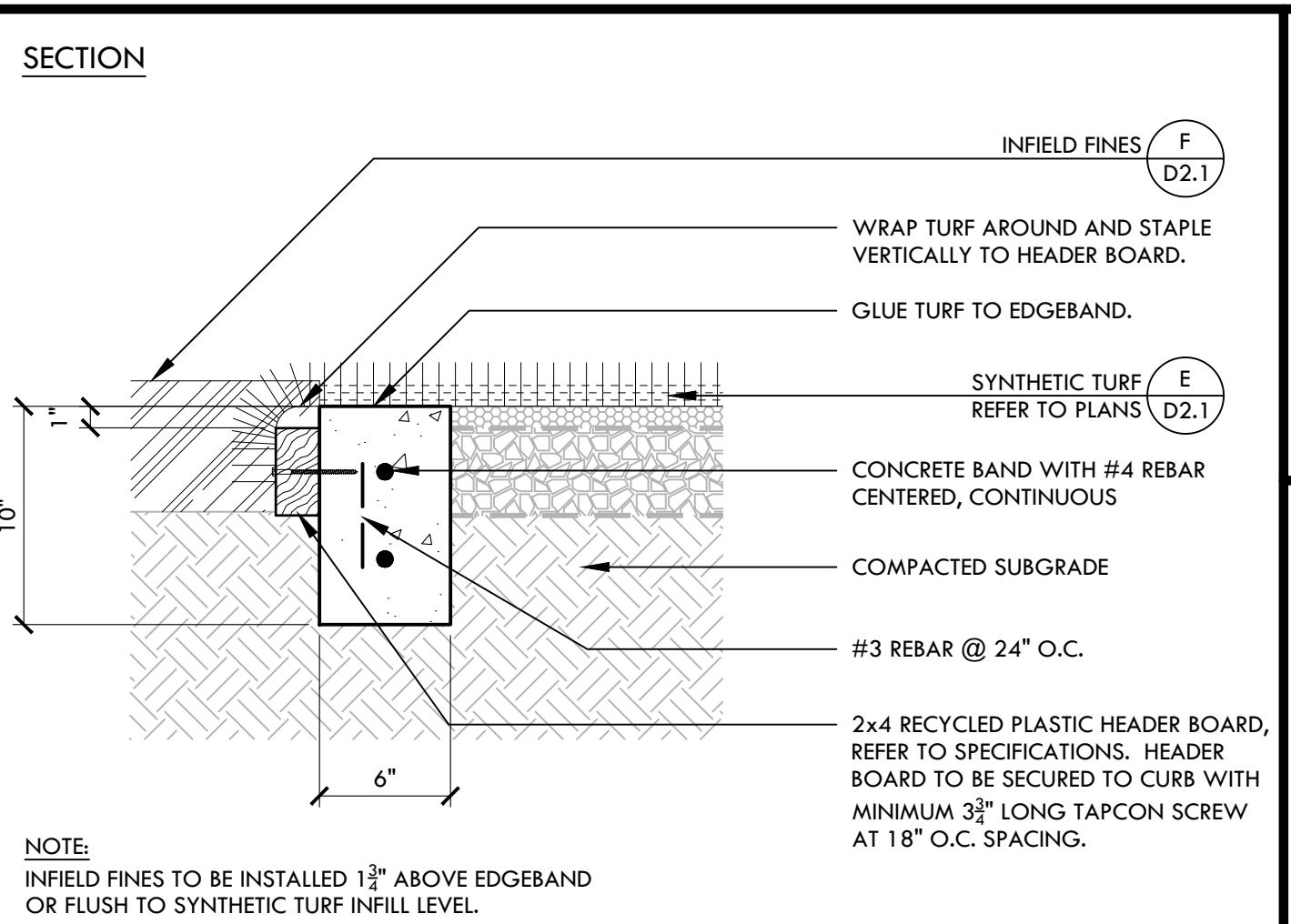
M 12" WIDE SYNTHETIC TURF EDGE BAND AT EXISTING FENCE NTS



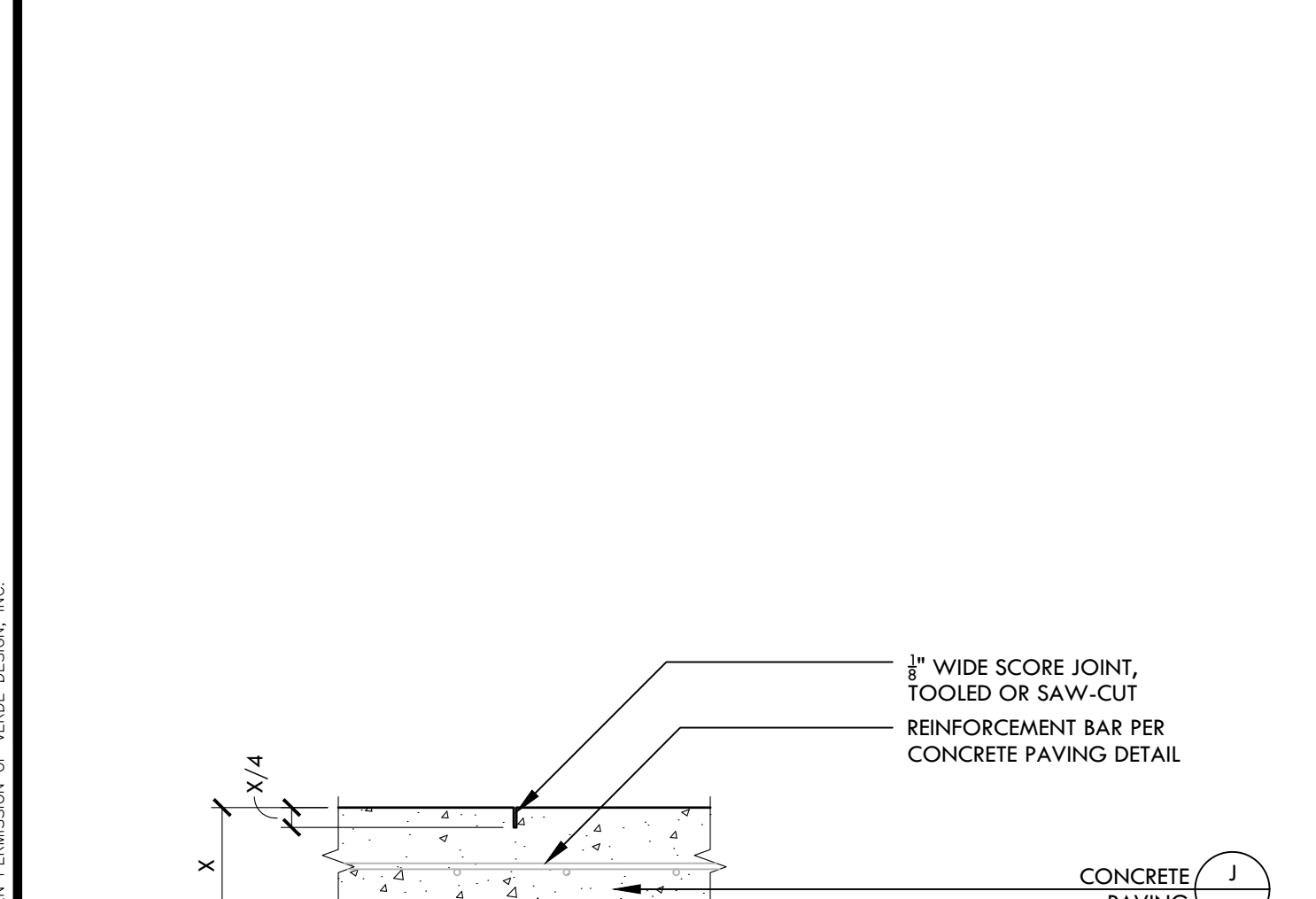
K CONCRETE PAVING FINISH NTS



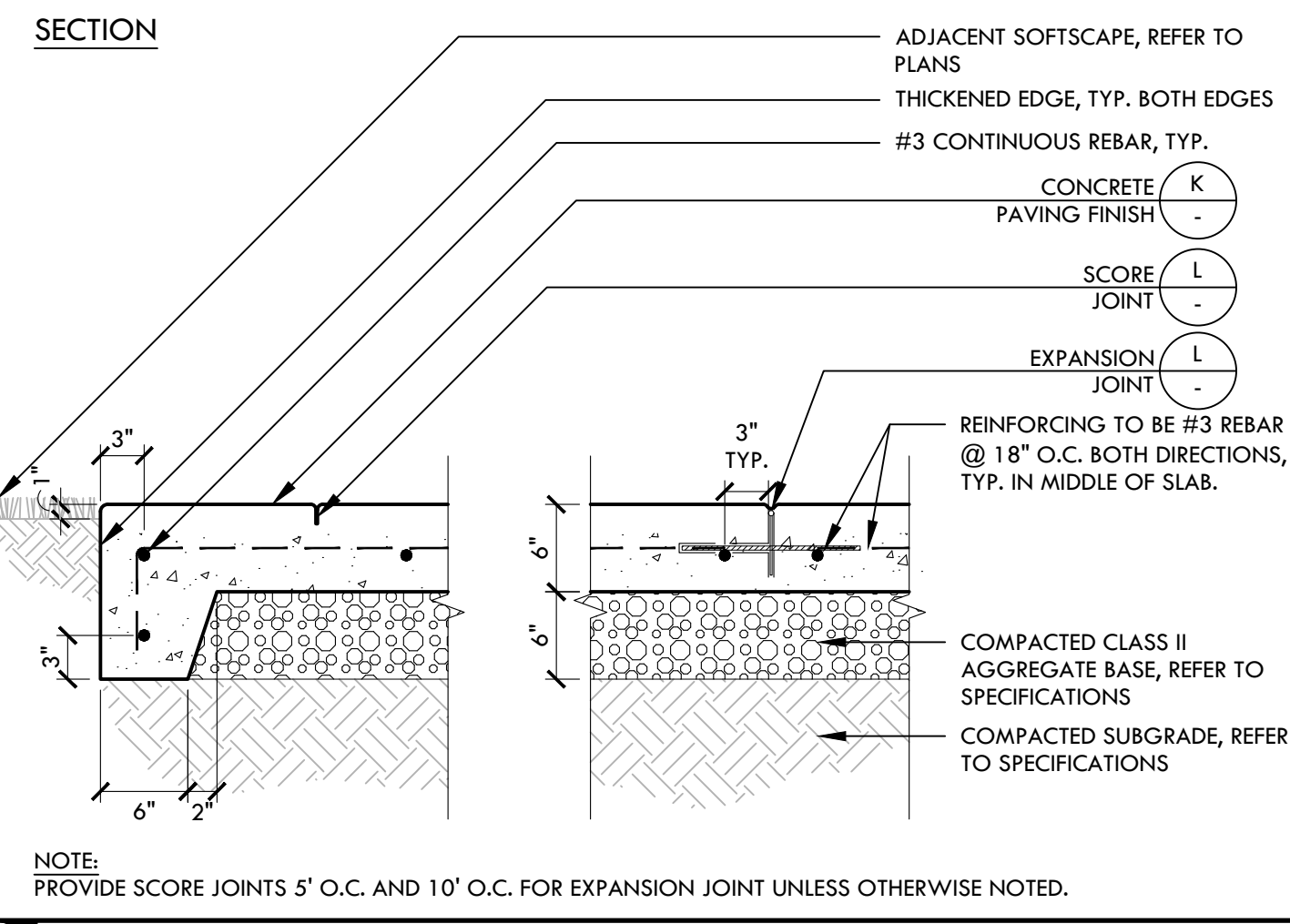
H NATURAL TURF TO SYNTHETIC TURF EDGE NTS



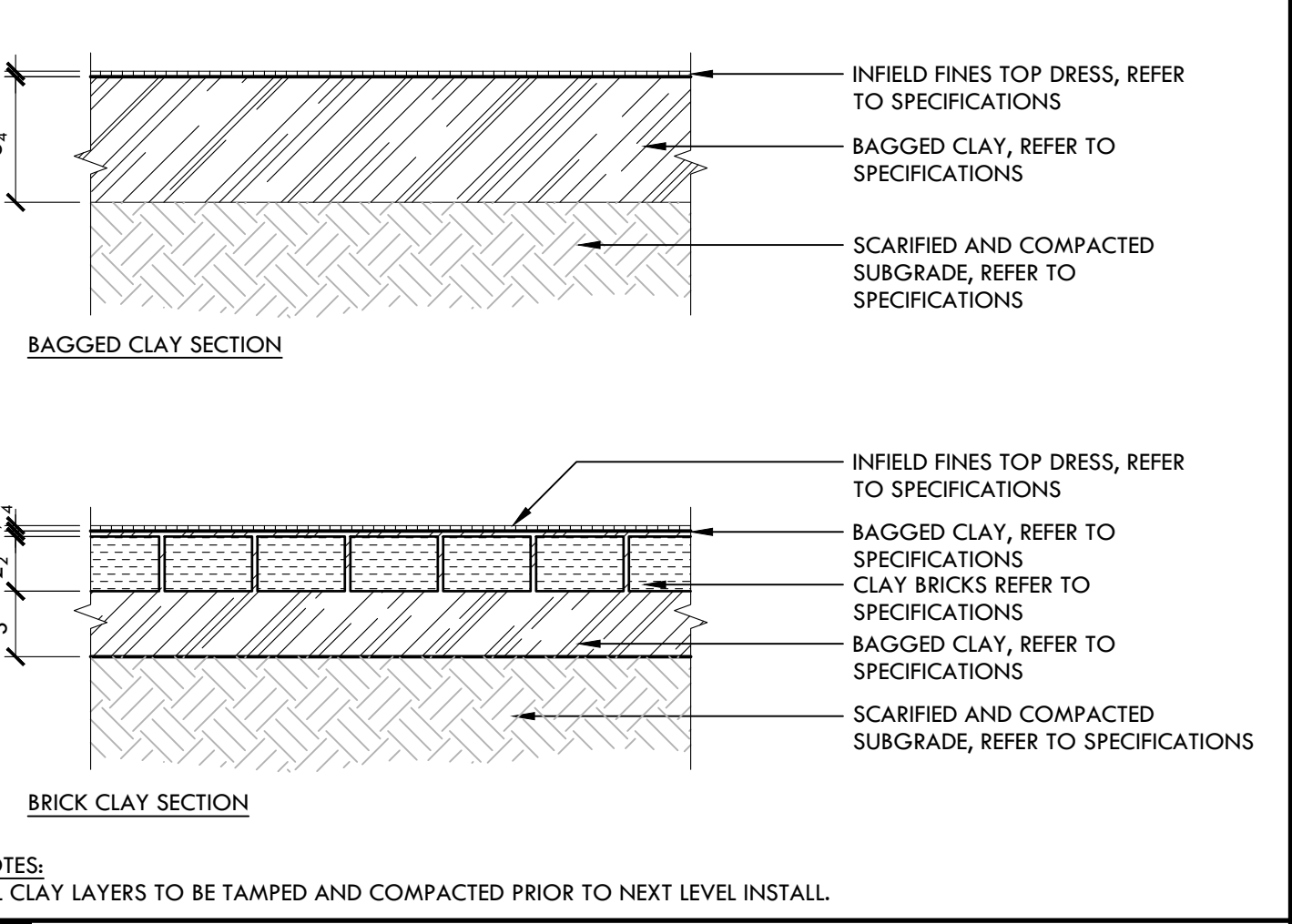
D 6" WIDE SYNTHETIC TURF EDGE AT INFELD FINES NTS



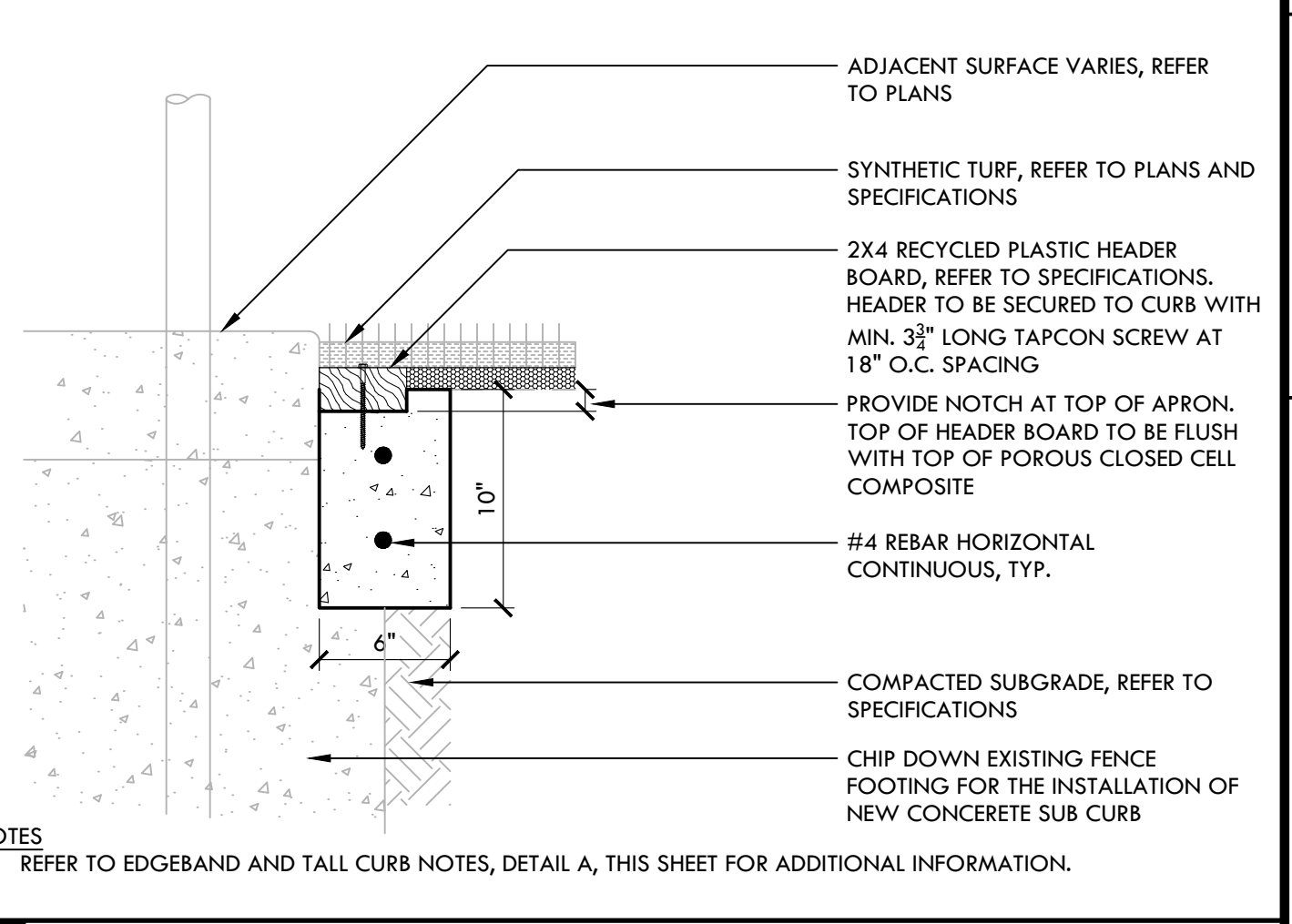
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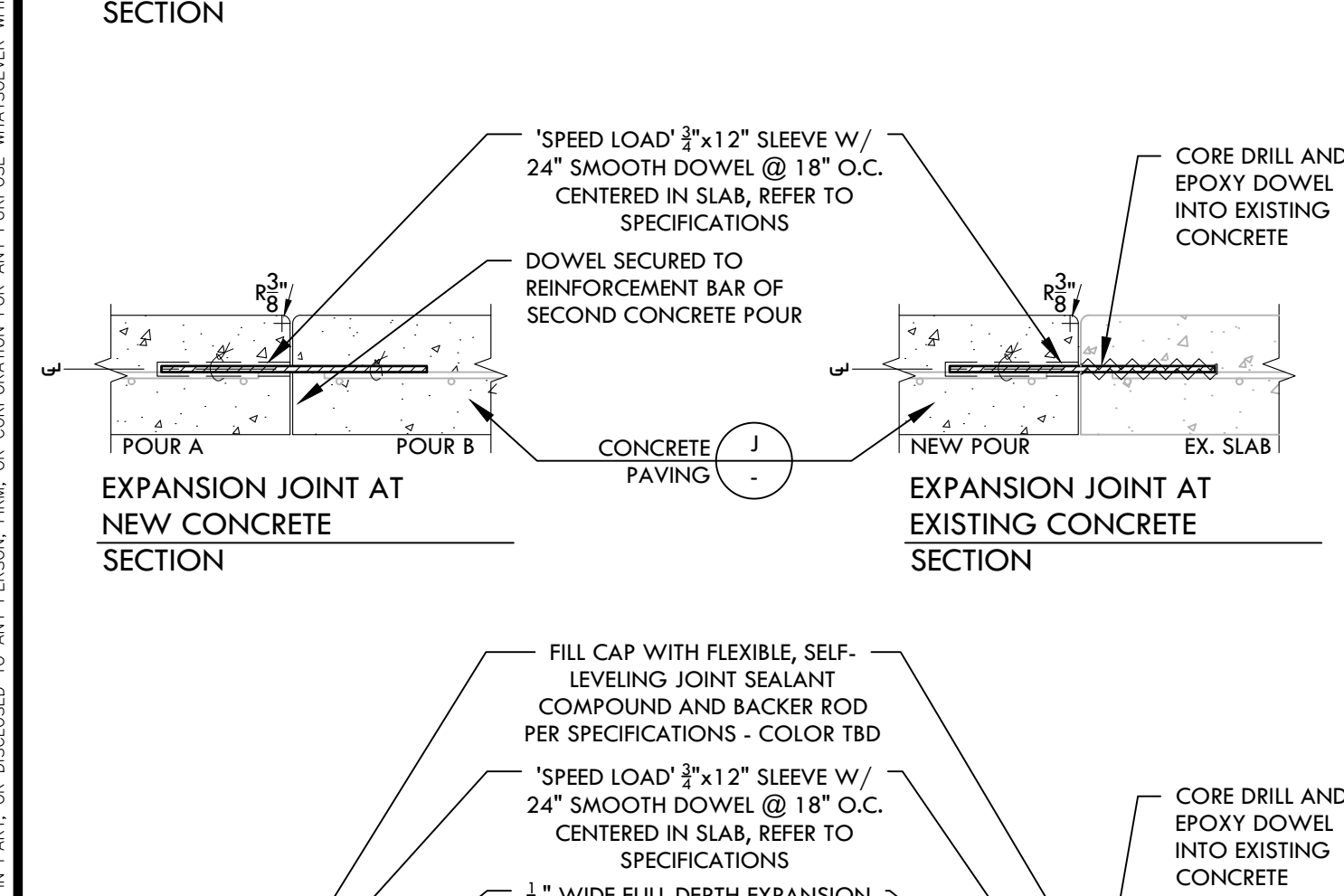
G INFELD FINES OVER CLAY NTS



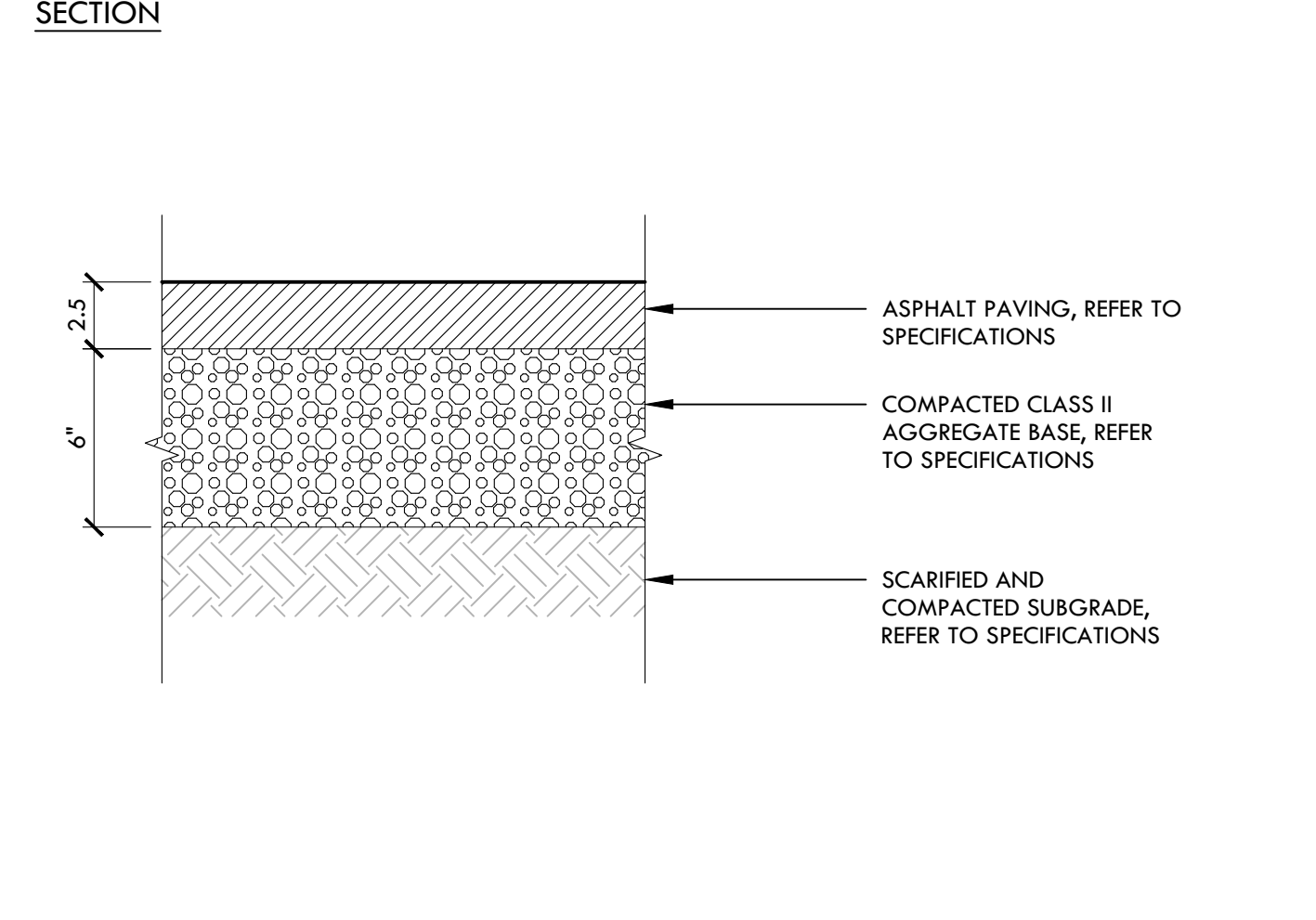
C CONCRETE SUB CURB - SYNTHETIC TURF CONNECTION NTS



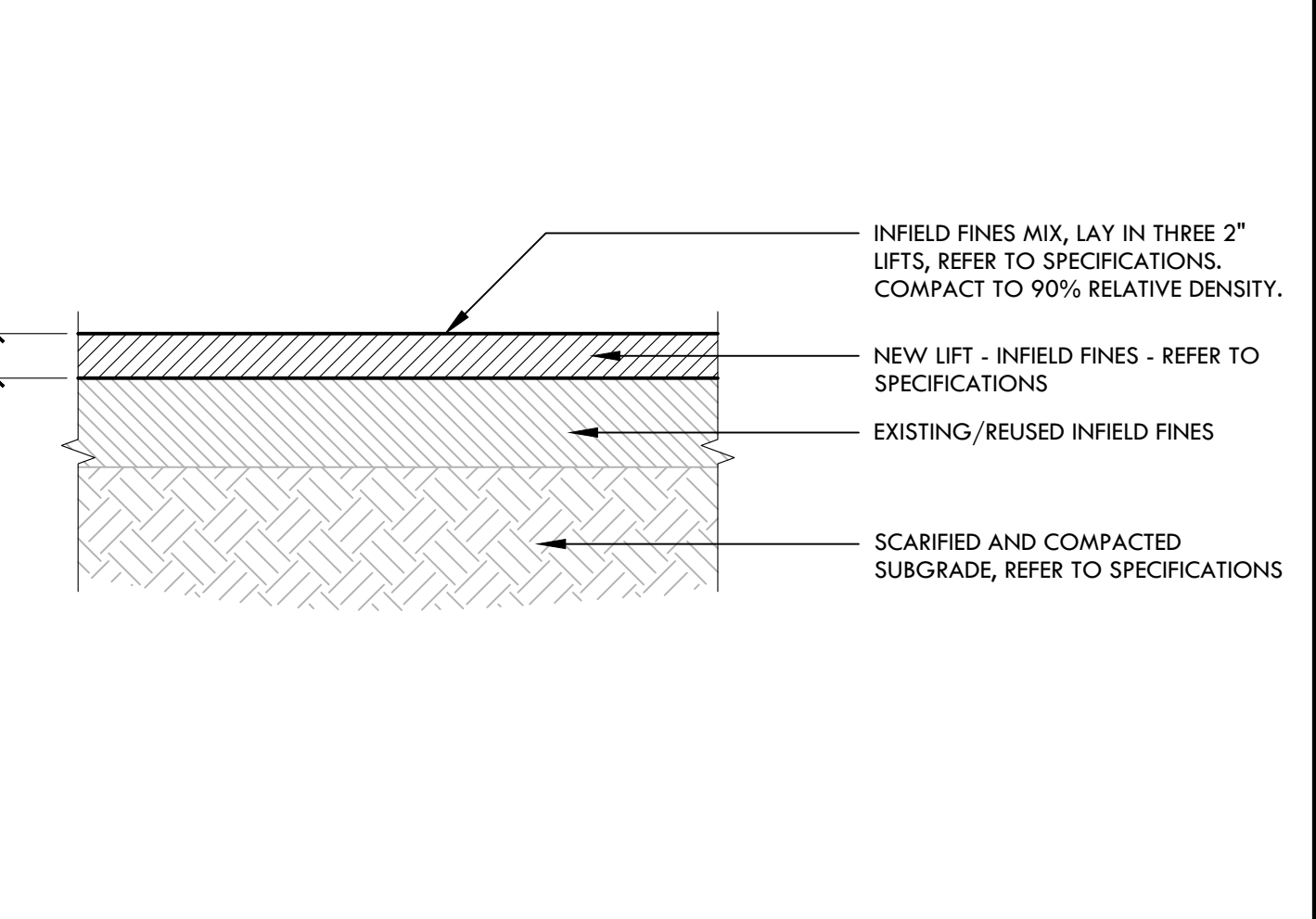
I ASPHALT PAVING NTS



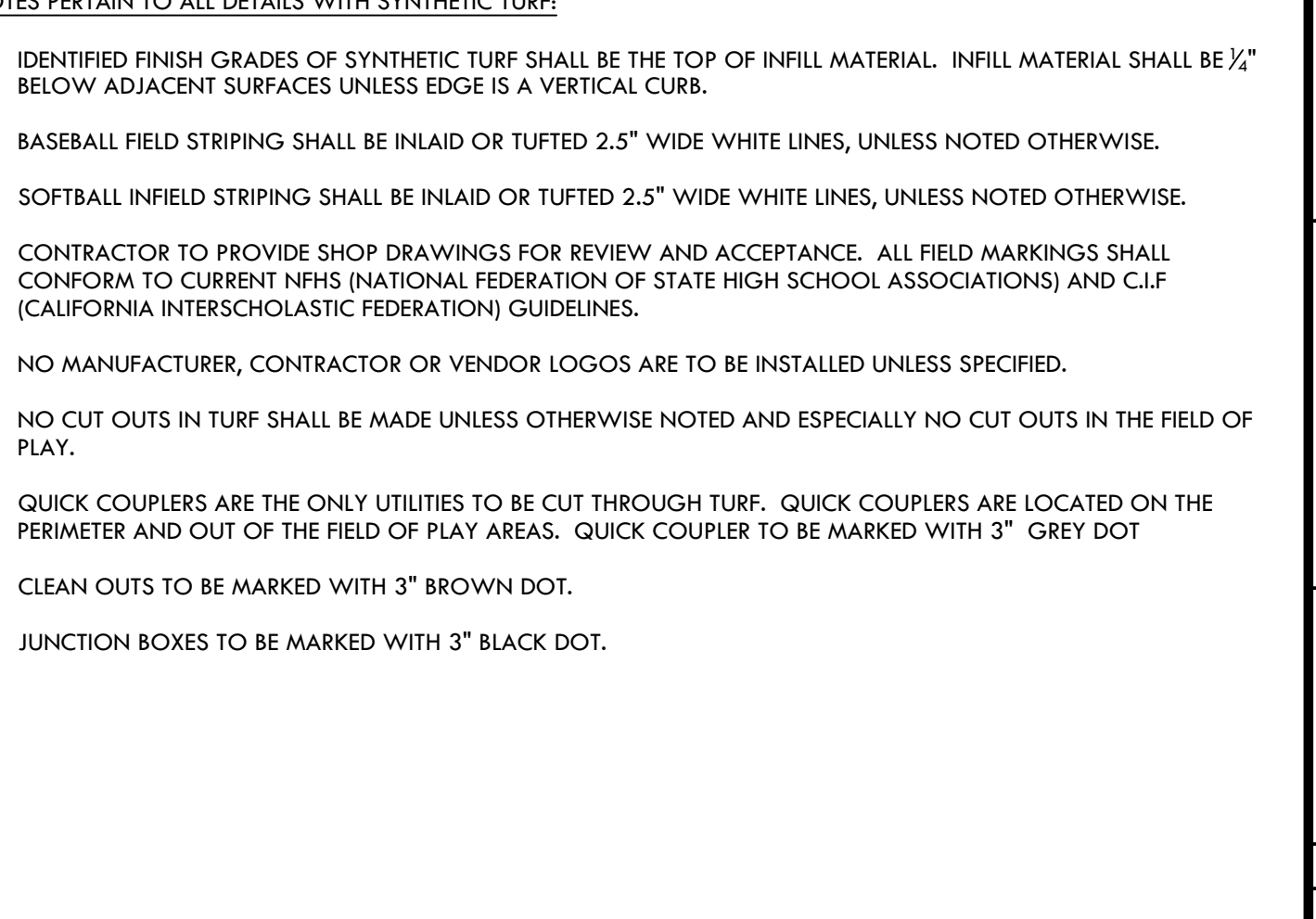
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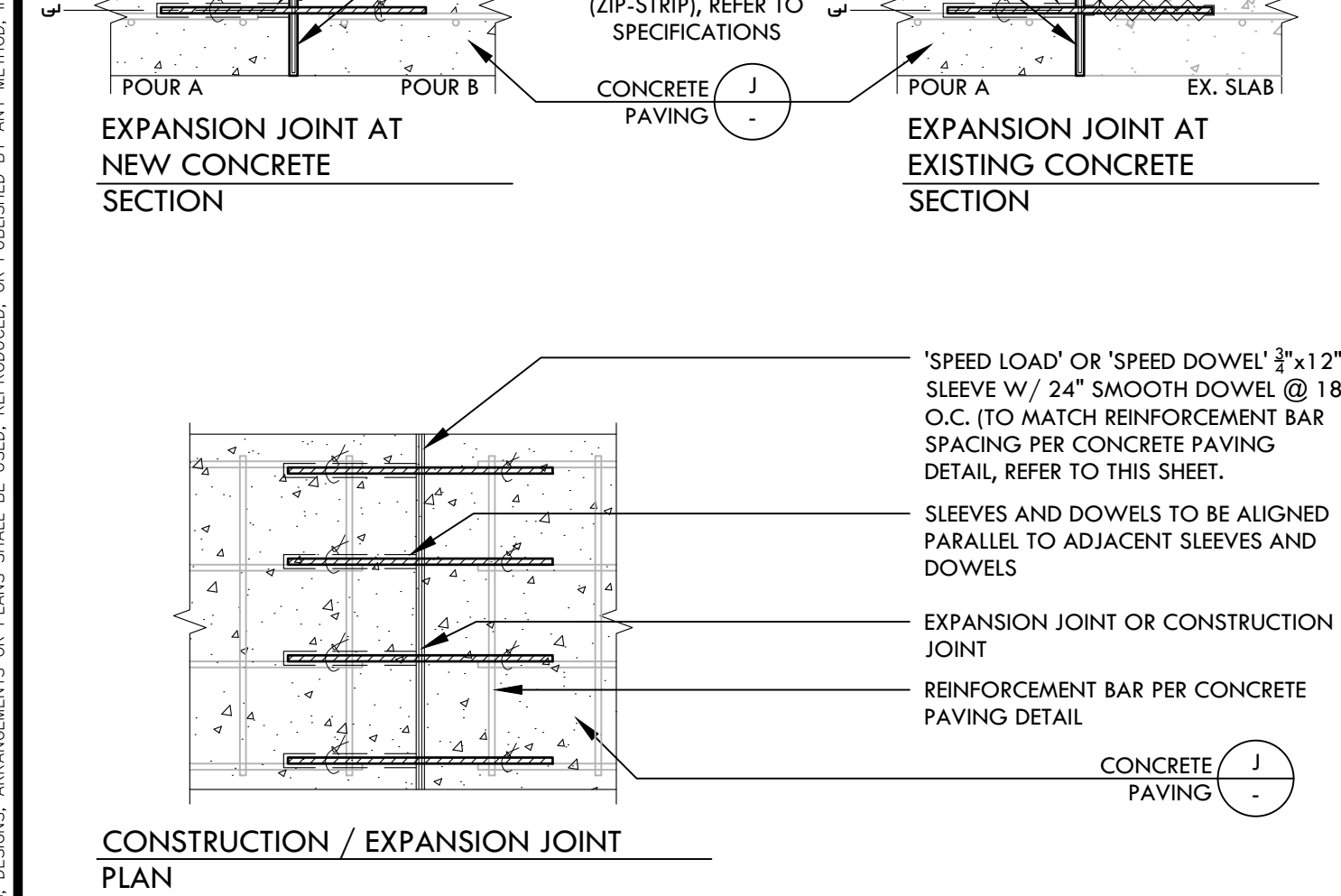
F INFELD FINES NTS



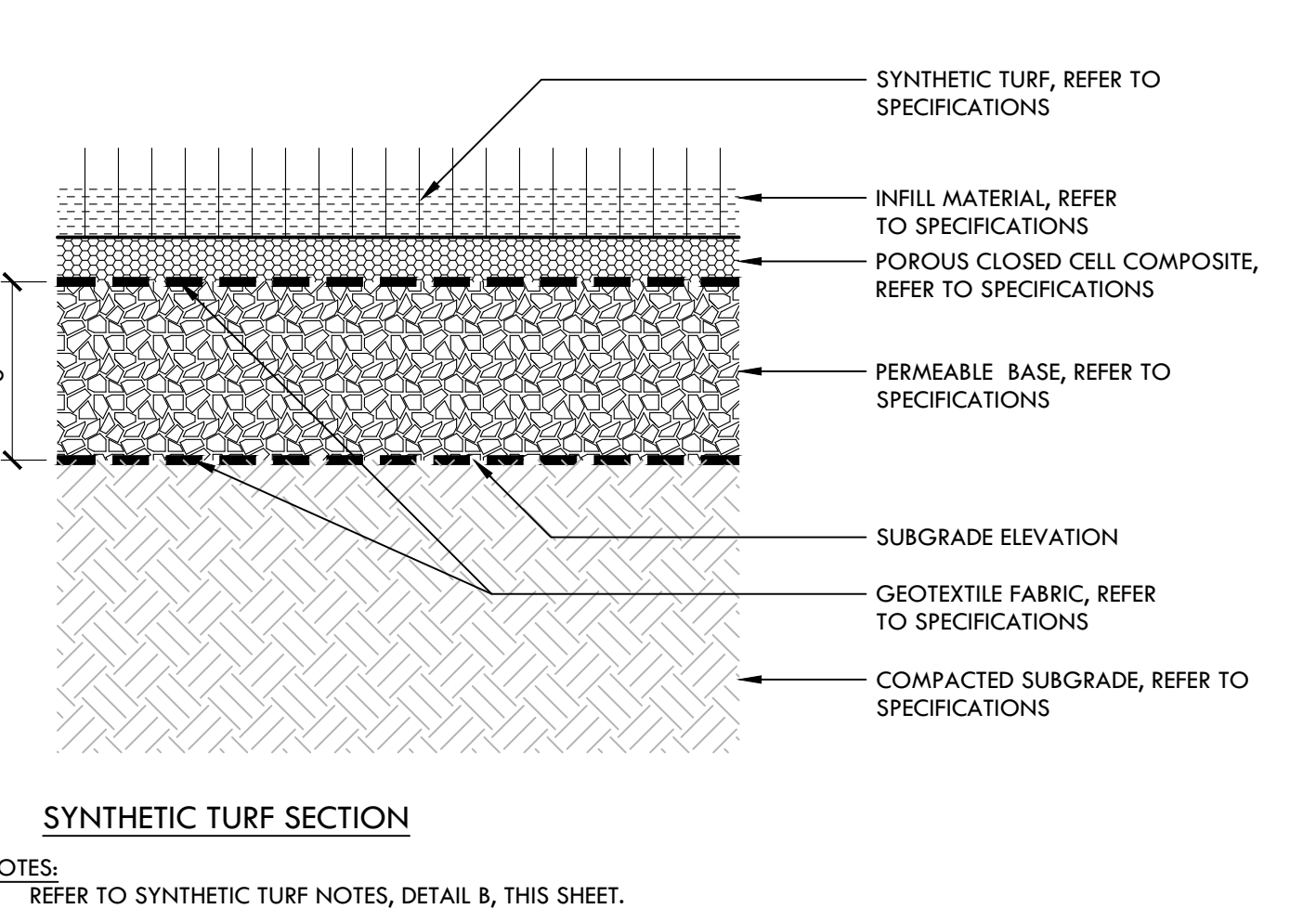
B SYNTHETIC TURF NOTES NTS



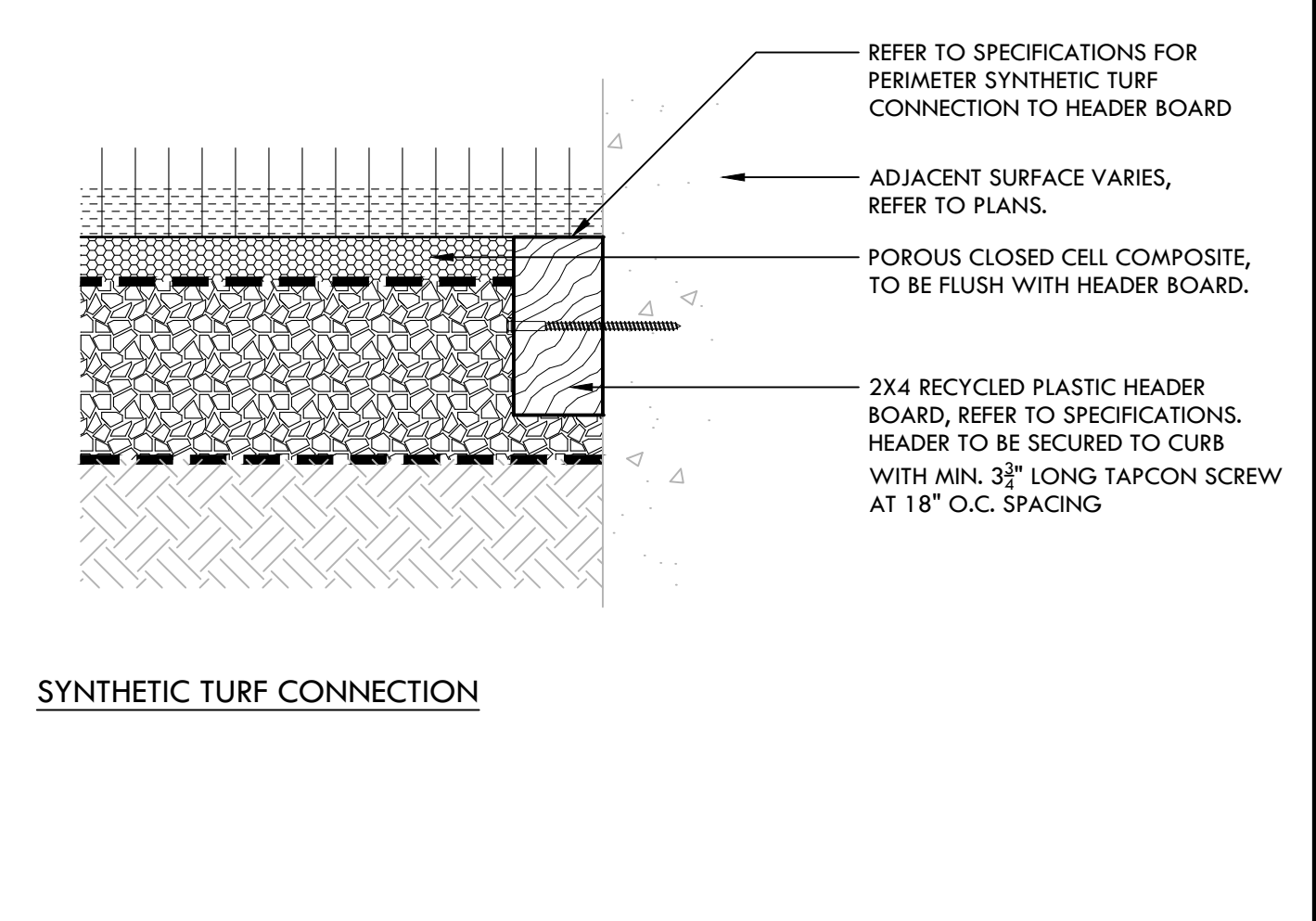
L CONCRETE JOINTS NTS



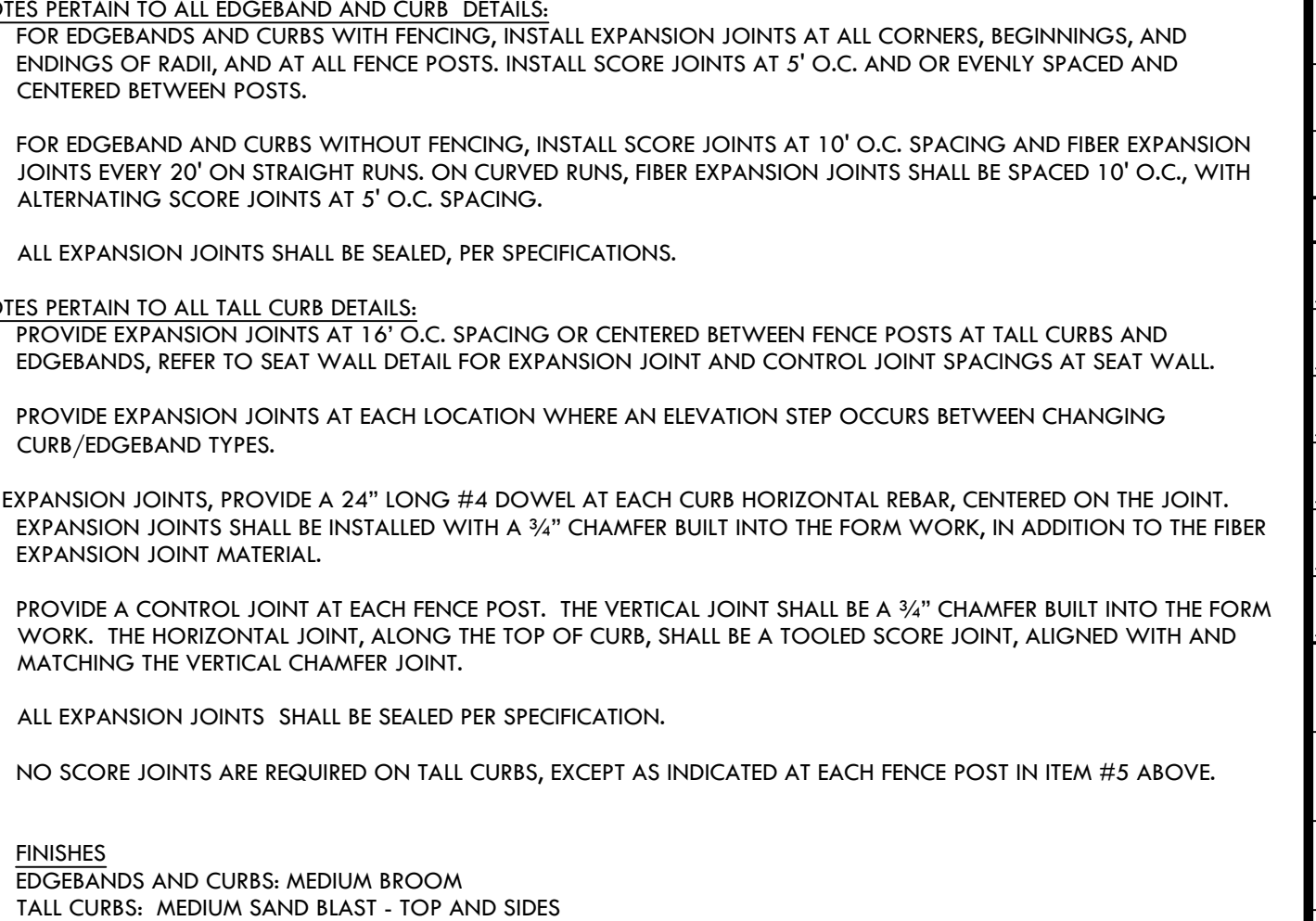
A EDGE BAND AND TALL CURB NOTES NTS



M 12" WIDE SYNTHETIC TURF EDGE BAND AT EXISTING FENCE NTS



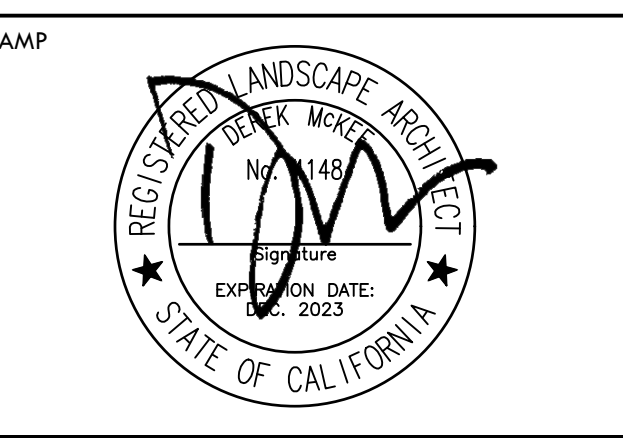
K CONCRETE PAVING FINISH NTS



H NATURAL TURF TO SYNTHETIC TURF EDGE NTS

VERDE DESIGN
 LANDSCAPE ARCHITECTURE
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CONSULTANT

SHEET TITLE
CONSTRUCTION DETAILS

PROJECT NAME
LIBERTY UNION HIGH SCHOOL DISTRICT BASEBALL INFELD & SOFTBALL OUTFIELD IMPROVEMENTS

PROJECT ADDRESS
BRENTWOOD & OAKLEY, CA

SUBMITTAL	DATE
BID SUBMITTAL	05/02/22

NO.	REVISIONS	DATE
1	FIELD DIRECTIVE #2 SYNTHETIC TURF REVISIONS	05/25/21

DRAWN BY VERDE	CHECKED BY DM
DATE ISSUED 01/17/2022	SCALE AS NOTED
PROJ. NO. 2111100	

SHEET NO. **D2.1**

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